



# TRANSPORT AND TRAFFIC PLANNING ASSOCIATES

Suite 502, Level 5, 282 Victoria Avenue, Chatswood NSW 2067  
P (02) 9411 5660 F (02) 9904 6622 W [ttpa.com.au](http://ttpa.com.au) E [meg@ttpa.com.au](mailto:meg@ttpa.com.au)

3 May 2022  
Ref: 21144

HPG General Pty Ltd  
C/o Simon Truong  
Assistant Development Manager  
Hyecorp Property Group  
By Email: [simon@hyecorp.com.au](mailto:simon@hyecorp.com.au)

Dear Simon,

**Proposed Residential Flat Building Development  
13-19 Canberra Avenue, St Leonards (DA162/2021)  
Response to Council's Request for Additional Information**

---

This letter is prepared to address Council's Request for Additional Information in relation to transport, traffic and parking matters raised in the correspondence dated 21 March 2022.

It should be noted that the development has been revised to the following:

*Residential*

1 x studio apartment  
26 x one-bedroom apartments (including 10 adaptable units)  
26 x two-bedroom apartments (including 4 adaptable units)  
28 x three-bedroom apartments (including 3 adaptable units)  
**Total: 81 dwellings (including 17 adaptable units)**

*Childcare Centre*

60 children  
12 babies aged 0-2  
20 toddlers aged 2-3  
28 pre-schoolers aged 3-5)

14 employees

*Retail*

37m<sup>2</sup> GFA


A total of 116 car parking, in addition to 10 motorcycle and 36 bicycle spaces, is proposed within the 4-level basement carpark, in full compliance with Council's parking requirements, in the following breakdown:

- 77 resident spaces (including 17 disabled spaces)
- 17 visitor spaces (including 4 disabled spaces)
- 2 car wash spaces
- 2 car share spaces
- 7 CCC staff spaces
- 10 short-term drop off spaces for the CCC use (including 1 disabled space)
- 1 disabled retail space (for staff only)

Revised architectural details of the development proposal are provided on the plans prepared by SJB Architects are reproduced in Appendix A. Satisfactory swept and vertical path assessments are provided in Appendix B.


The following details Council's comments and associated TTPA's response:

Comments	TTPA's Response
<b>7. Electric Vehicle Infrastructure</b> The provision of electric vehicle infrastructure for each dwelling is required to be provided in accordance with LCDCP 2009 Part C Residential Localities – Locality 8 – St Leonards South Precinct.	EV charging will be provided as required consistent with the conditional of approval applied to 21 to 41 Canberra Avenue and 18 to 32 Holdsworth Avenue, St Leonards (99/2021), reproduced below:  <i>All residential dwellings spaces are to be provisioned with cabling (and adequate electricity capacity provided) for electrical vehicle charging. That is, all dwellings allocated 1 or more carparking spaces are to have private cabling provision for a minimum of 1 car parking space. Certification is to be provided to the certifier prior to the issue of a Construction Certificate in relation to this requirement from a suitably qualified person. The cabling infrastructure is to be located in such a way that the installation of a car charger would not impact parking space dimensions (e.g., infrastructure raised on tracks or similar).</i>
<b>9. Traffic and Parking</b> A. Sustainable Travel and Access Plan A Sustainable Travel and Access Plan is required in accordance with Section 5 – Access of LCDCP 2009 Part C Residential Localities – Locality 8 – St Leonards South Precinct.	See Appendix C for the Sustainable Travel and Access Plan

<p><b>11B. Waste Vehicle Servicing</b></p> <p>Please show swept paths for SRV and HRV in traffic management plan and 4.5m clearance free from all encumbrances. Please amend traffic management plan.</p>	<p>Please see Appendix B for satisfactory swept path assessments for a 6.4m small rigid vehicle (SRV) entering and existing the site in a forward direction. The proposed loading bay to accommodate up to an 8.8m medium rigid vehicle (MRV) is consistent with the following approved developments:</p> <ul style="list-style-type: none"><li>• 2015/212: 496-498, 500, 504-520 Pacific Highway, St Leonards: 495 residential dwellings – 1 service bay to accommodate up to Council’s 8m waste truck</li><li>• DA161/2020: 23-35 Atchison Street, St Leonards: 100 apartments – 1 service bay to accommodate up to 8.8m medium rigid vehicle</li></ul> <p>The loading bay provision for an MRV is sufficient to accommodate Council’s largest Typical Council Garbage Truck used for Domestic Waste Collection – Rear Load. See the following figure.</p> <div><ul style="list-style-type: none"><li>• Typical Council Garbage Truck used for Domestic Waste Collection – Rear Load</li></ul><table><tbody><tr><td>• Length overall</td><td>• 8.0 metres</td></tr><tr><td>• Width overall</td><td>• 2.5 metres</td></tr><tr><td>• Operational height</td><td>• 4.3 metres</td></tr><tr><td>• Travel height</td><td>• 4.3 metres</td></tr><tr><td>• Weight (vehicle and load)</td><td>• 22.5 tonnes</td></tr><tr><td>• Weight (vehicle only)</td><td>• 13 tonnes</td></tr><tr><td>• Turning Circle</td><td>• 25.0 metres</td></tr></tbody></table><p>rearloader garbage truck</p></div> <p>In addition, as stated in the DA traffic report – Section 6.3, The provision of the loading space for an 8.8m</p>	• Length overall	• 8.0 metres	• Width overall	• 2.5 metres	• Operational height	• 4.3 metres	• Travel height	• 4.3 metres	• Weight (vehicle and load)	• 22.5 tonnes	• Weight (vehicle only)	• 13 tonnes	• Turning Circle	• 25.0 metres
• Length overall	• 8.0 metres														
• Width overall	• 2.5 metres														
• Operational height	• 4.3 metres														
• Travel height	• 4.3 metres														
• Weight (vehicle and load)	• 22.5 tonnes														
• Weight (vehicle only)	• 13 tonnes														
• Turning Circle	• 25.0 metres														

	<p>medium rigid vehicle (over a 12.5m heavy rigid vehicle) is adequate and appropriate for the proposed development based on the following reasons:</p> <ul style="list-style-type: none"> <li>❖ Based on City of Sydney's survey completed by Arup, the great majority of service vehicles accessing the proposed development will be small (e.g., vans) and the visitation by MRV size vehicles will only up to 22% of the total use</li> <li>❖ The proposed Loading Dock Management Plan, which is similar to that enacted at the other large mixed-use developments, will provide a practical means of regulating the use of the loading bay</li> <li>❖ Consistent with other comparable and larger mixed-use developments:</li> </ul> <p style="margin-left: 40px;"><b>111 George Street, Parramatta</b> 264 residential apartments 862m<sup>2</sup> retail</p> <p style="margin-left: 40px;"><b>Thomas Street, Chatswood</b> 353 residential apartments 356 serviced apartments 486m<sup>2</sup> retail</p> <p style="margin-left: 40px;"><b>Moore Park (ACI site)</b> 208 residential apartments 2,642m<sup>2</sup> supermarket 1,220m<sup>2</sup> retail specialty</p> <p style="margin-left: 40px;"><b>Carter Street, Lidcombe</b> 340 residential apartments 1,764m<sup>2</sup> supermarket 425m<sup>2</sup> retail specialty</p> <p style="margin-left: 40px;"><b>Campbell Street, Sydney</b> 211 residential apartments 3,836m<sup>2</sup> commercial 233m<sup>2</sup> retail</p> <p style="margin-left: 40px;"><b>Taylor Square Darlinghurst</b> 208 residential apartments 1,547m<sup>2</sup> Woolworth Supermarket 2,436m<sup>2</sup> retail/restaurant</p>
--	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



	<p><b>4 Parramatta Square</b> 67,600m<sup>2</sup> commercial 2,368m<sup>2</sup> Child Care Centre 3,142m<sup>2</sup> retail specialty (11 tenants)</p> <p><b>“Infinity” Green Square</b> 400 residential apartments 3,082m<sup>2</sup> retail 760m<sup>2</sup> Conference Centre</p> <p>❖ There is no evidence that the loading circumstances at the cited developments present any operational shortcomings for service/delivery vehicles</p>
<p><b>11C. Removalist Bay</b> Provision of a removalist bay in addition to the waste servicing area (refer DA99/2021 and Part R Table 2 of LCDCP 2009).</p>	<p>The DCP states the requirement of one removalist bay per 100 units. As such, this requirement is not applicable to the proposed development of 81 units (reduced from 84 units). Unlike the minimum reference of 1 space for disabled visitor parking which is clearly stated as such in the DCP, there was no mention of a minimum for the removalist bay provision. See the following figure.</p>  <p>It is clearly not realistic to provide a dedicated removalist bay when waste collection will only occur no more than 3 times a week.</p> <p>In addition, the provision of 1 shared loading space (without a dedicated removalist vehicle bay) is consistent with the aforementioned approved developments which are significantly larger than the proposed development:</p>

	<ul style="list-style-type: none"><li>• 2015/212: 496-498, 500, 504-520 Pacific Highway, St Leonards: 495 residential dwellings – 1 service bay</li><li>• DA161/2020: 23-35 Atchison Street, St Leonards: 100 apartments – 1 service bay</li></ul> <p>In addition, the 472 - 494 Pacific Highway, St Leonards development which has 570 apartments only has 3 service bays to accommodate two 8.8m medium rigid vehicles and one 6.4m small rigid vehicle. This equates to 1 service bay for every 190 apartments.</p> <p>Consistent with the above existing and approved developments, a loading dock management plan is in place or proposed to be in place to manage the on-site servicing activities.</p> <p>The loading dock management plan will centre around the use of a detailed online booking system. The online booking system will be operated and maintained by the building management and made available via a link on the building's website. Such systems are common practice and will ensure appropriate use and prevent overstaying in the loading dock.</p> <p>The objective is to always manage service vehicle and trade vehicle activity so that no more than 1 heavy vehicle is at the loading dock at any one time. Based on a maximum of 2 vehicles every hour between 7 am and 5.30 pm daily, the loading dock can accommodate up to 21 trucks per day.</p>
--	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

I trust the above is sufficient for your purpose. Should you have any questions or require further information, please do not hesitate to contact me on (02) 9411 5660.

Yours faithfully



Siew Hwee Kong (Meg)  
BSc, MSc Civil Engineering  
Associate

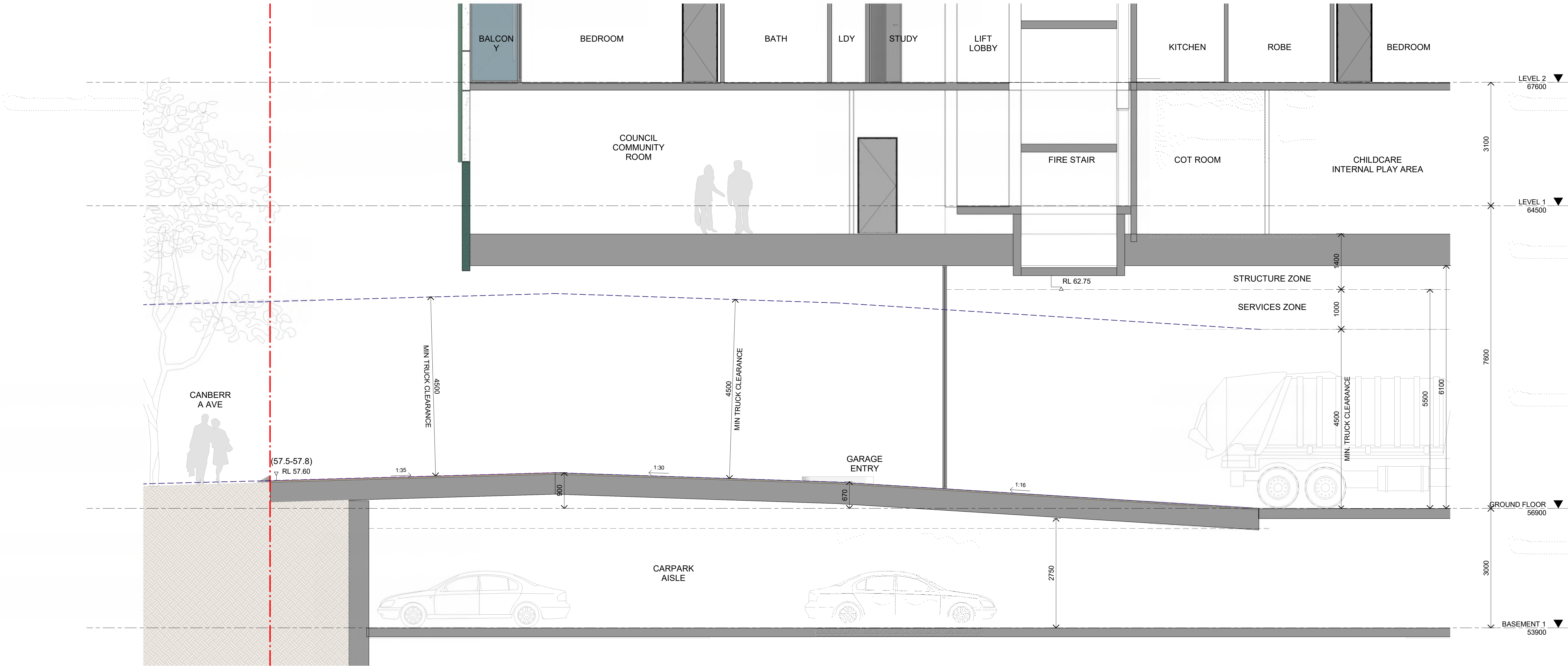
Transport and Traffic Planning Associates

Design Practitioner Registration Number: DEP0000127

Professional Engineer Registration Number: PRE0000121

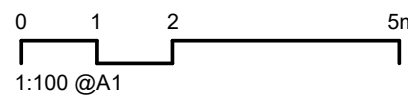
# **APPENDIX A**

## **Revised Architectural Plans**

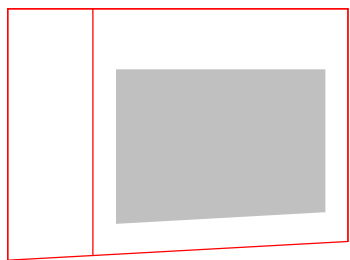


NOTE:  
PLEASE REFER TO TRAFFIC & STRUCTURAL ENG'S DOCUMENTATIONS FOR RAMP DETAILS

In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.  
Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
9	11/06/2021	DRAFT ELEVATIONS FOR CONSULTANT	LL	AH
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
DETAIL SECTION - CARPARK ENTRY

Date

29/04/2022 1 : 50

Drawn

Author

Drawing No.

DA-0610

Scale

Checker

Revision

Sheet Size

@ A1

Job No.

6429

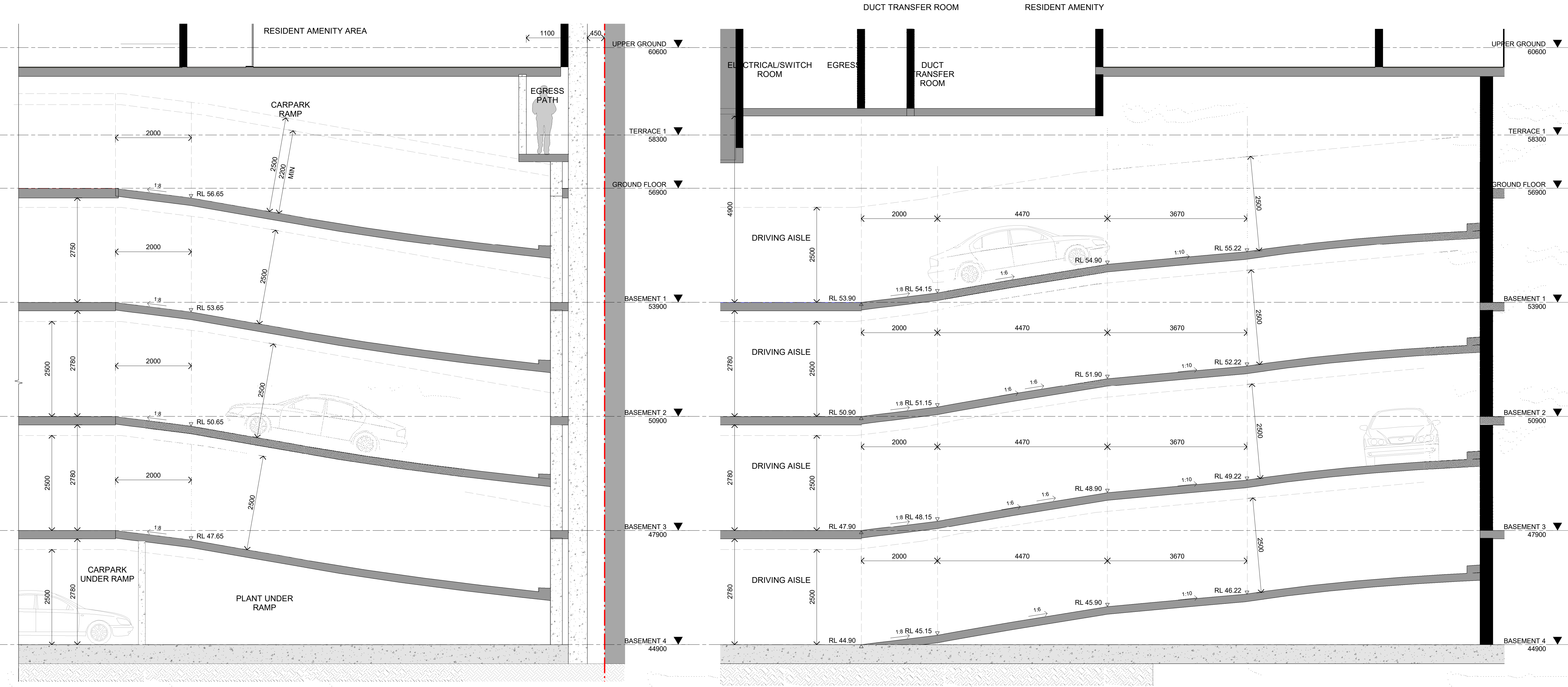
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

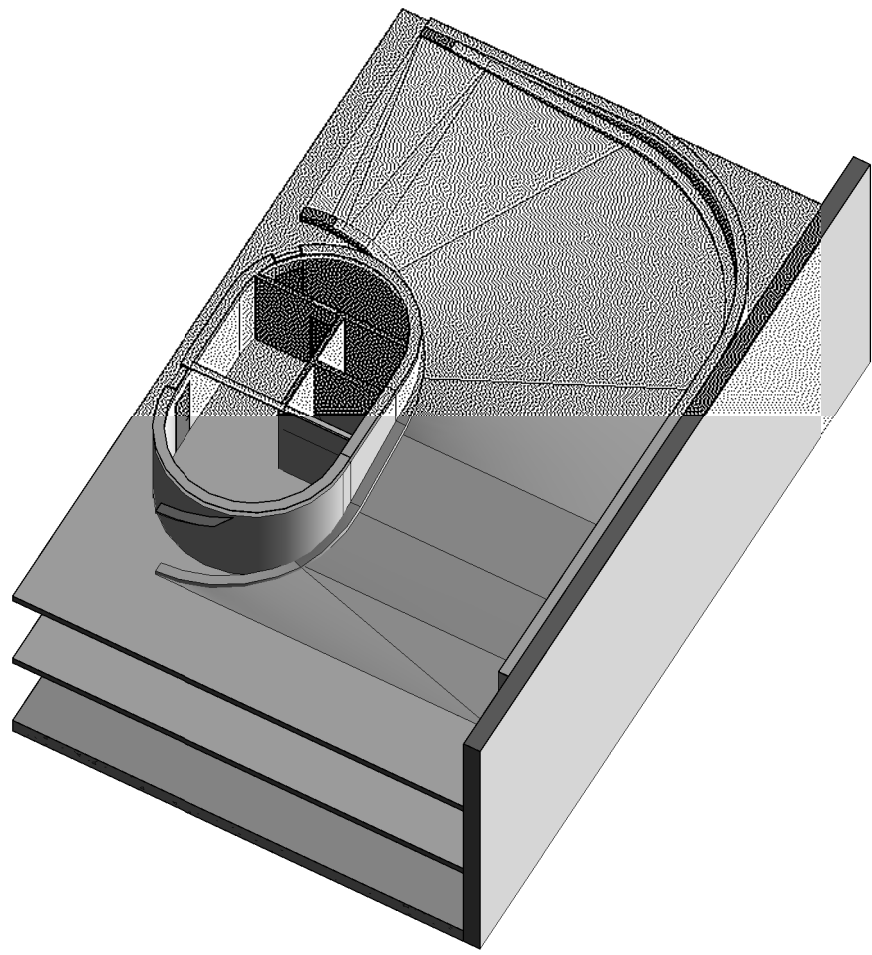




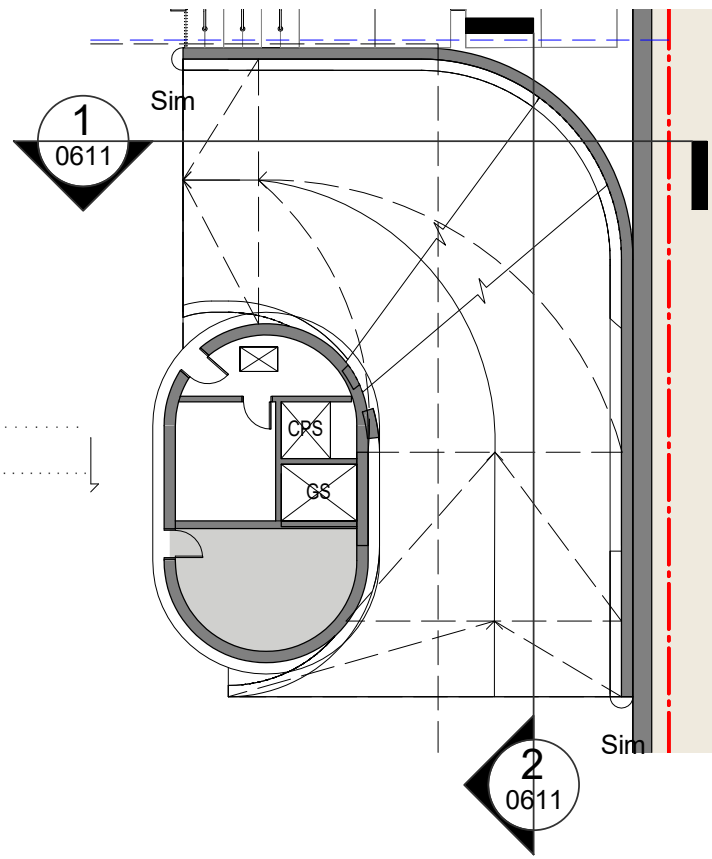


CARPARK RAMP SECTION 01

CARPARK RAMP SECTION 02

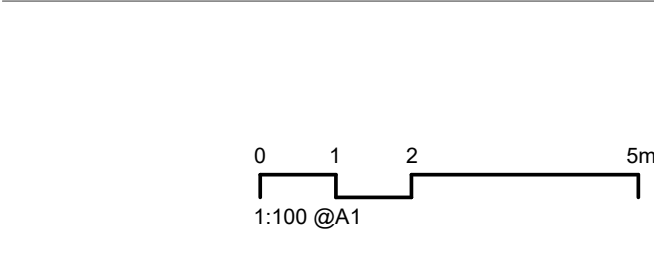


CARPARK RAMP AXO

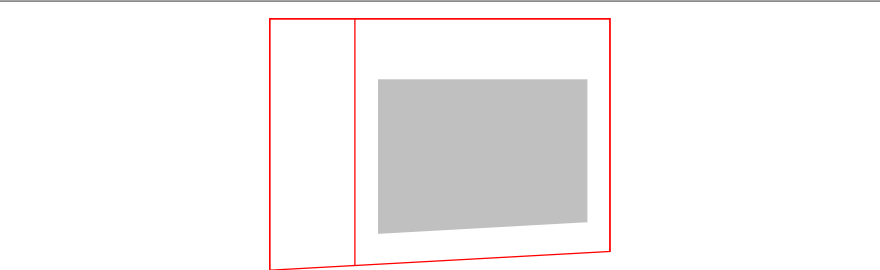


BASEMENT RAMP SECTION  
LEGEND

In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.  
**Nominated Architects: Adam Haddow-7188 | John Pradel-7004**



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client  
**HYECORP**

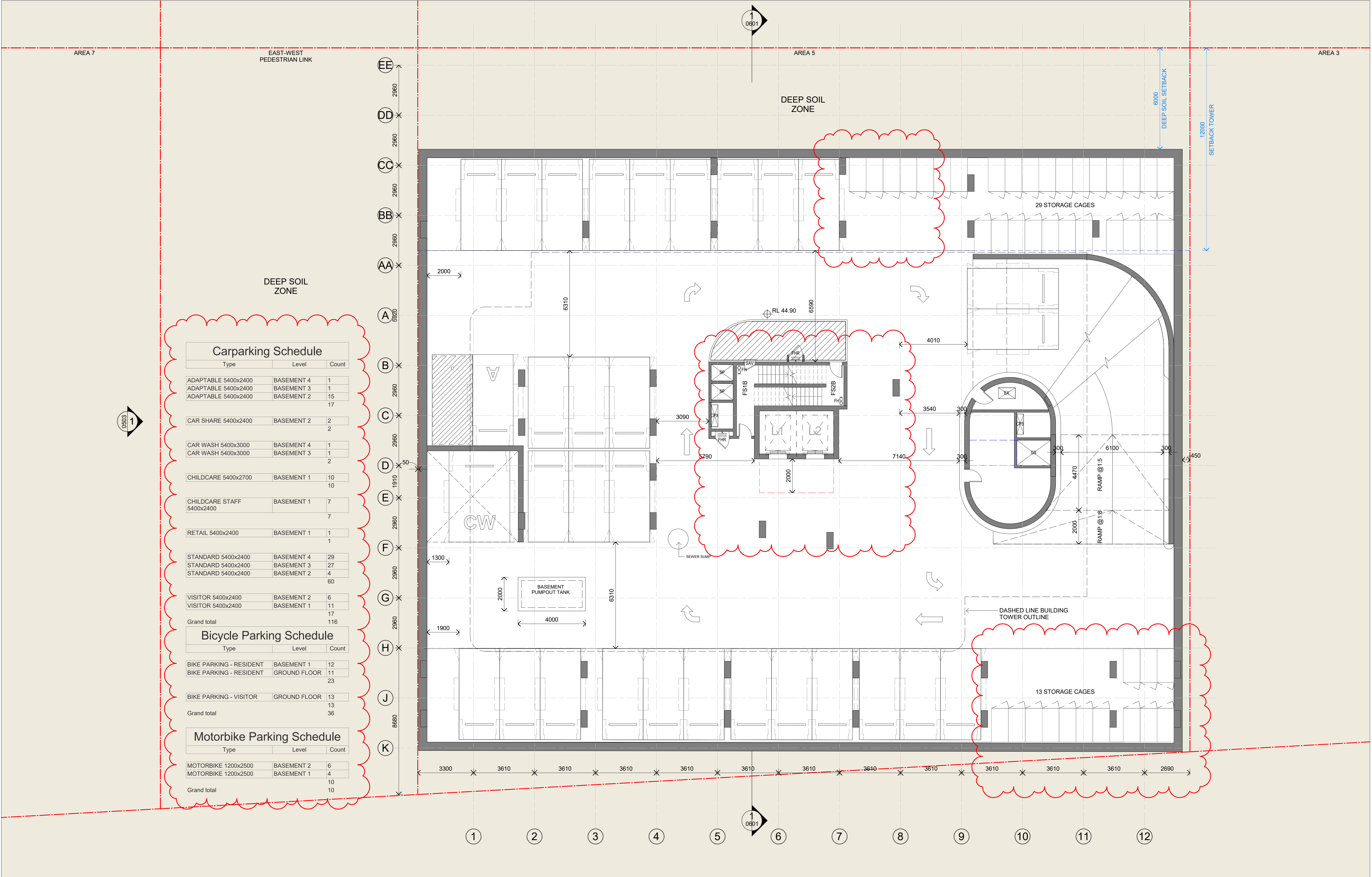
Project  
**St Leonards**  
**13-19 Canberra Ave**  
**St Leonards**  
Drawing Name  
**DETAIL SECTION - BASEMENT CARPARK RAMP**

Date  
**29/04/2022**  
Scale  
**As indicated**  
Sheet Size  
**@ A1**  
Drawn  
**Chk.**  
Author  
**Checker**  
Drawing No.  
**DA-0611**

Job No.  
**6429**  
Revision  
**/ 45**  
**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

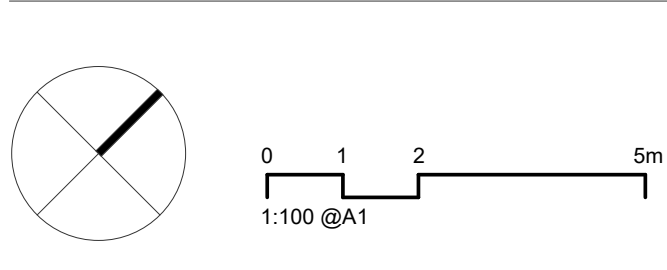




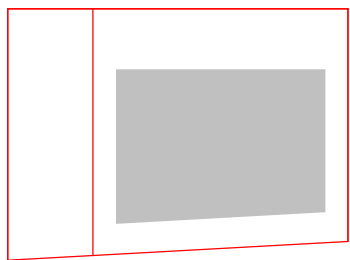


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

# HYECORP

Project

St Leonards  
13-19 Canberra Ave  
St Leonards

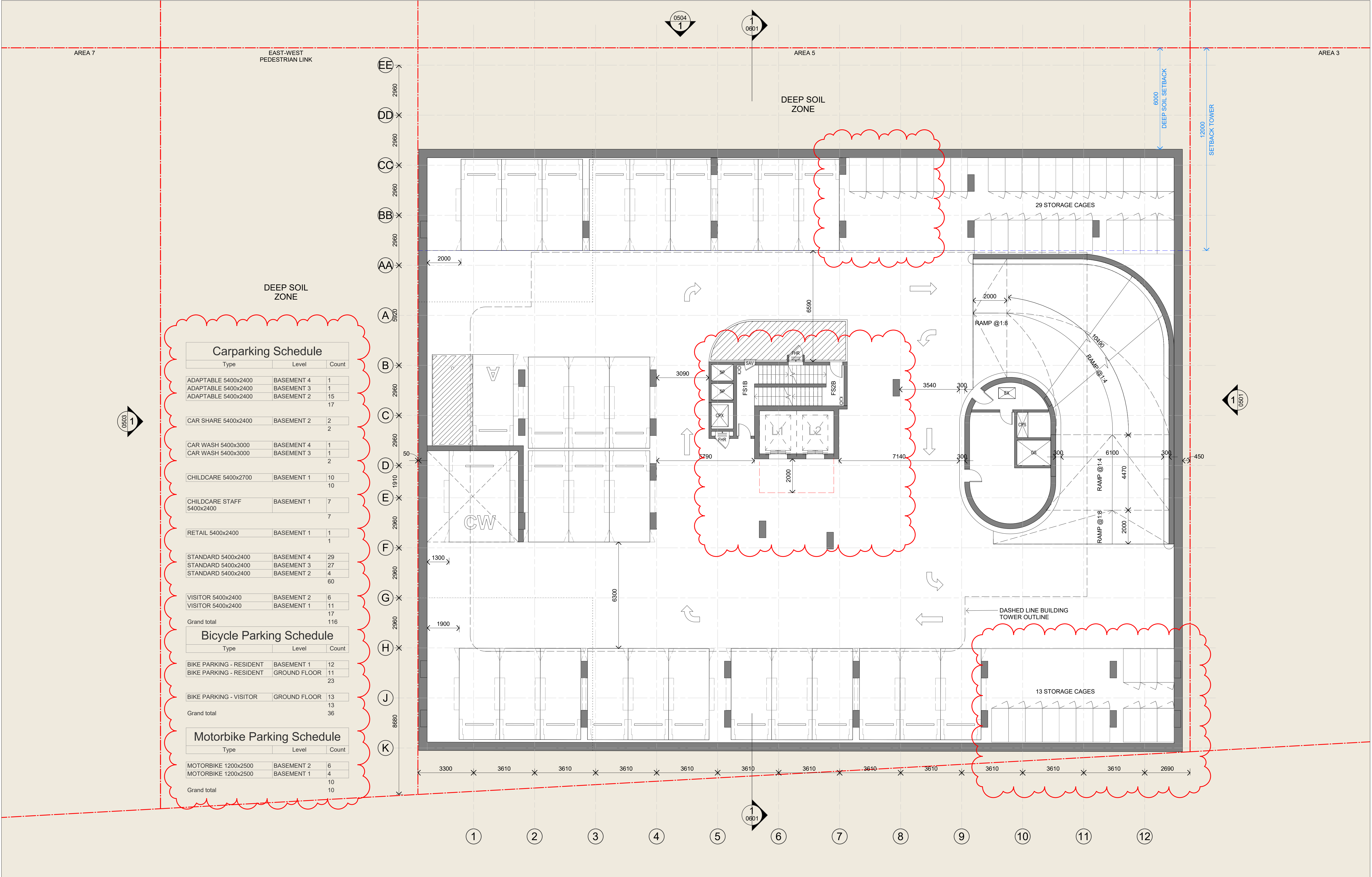
Drawing Name

FLOOR PLAN B4

Date	Scale	Sheet Size
29/04/2022	1 : 100	@ A1
Drawn	Chk.	Job No.
ML	JT	6429
Drawing No.		Revision
DA-0201		/ 45

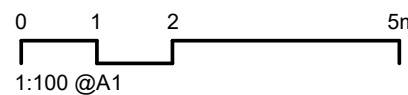
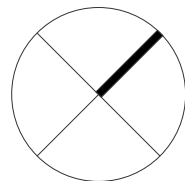
SJB Architects  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au



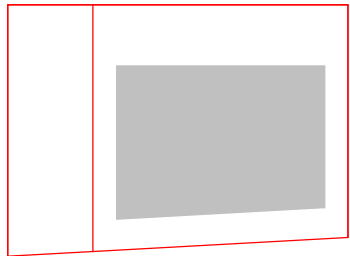


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN B3

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

JT

Job No.

6429

Drawing No.

DA-0202

Revision

/ 45

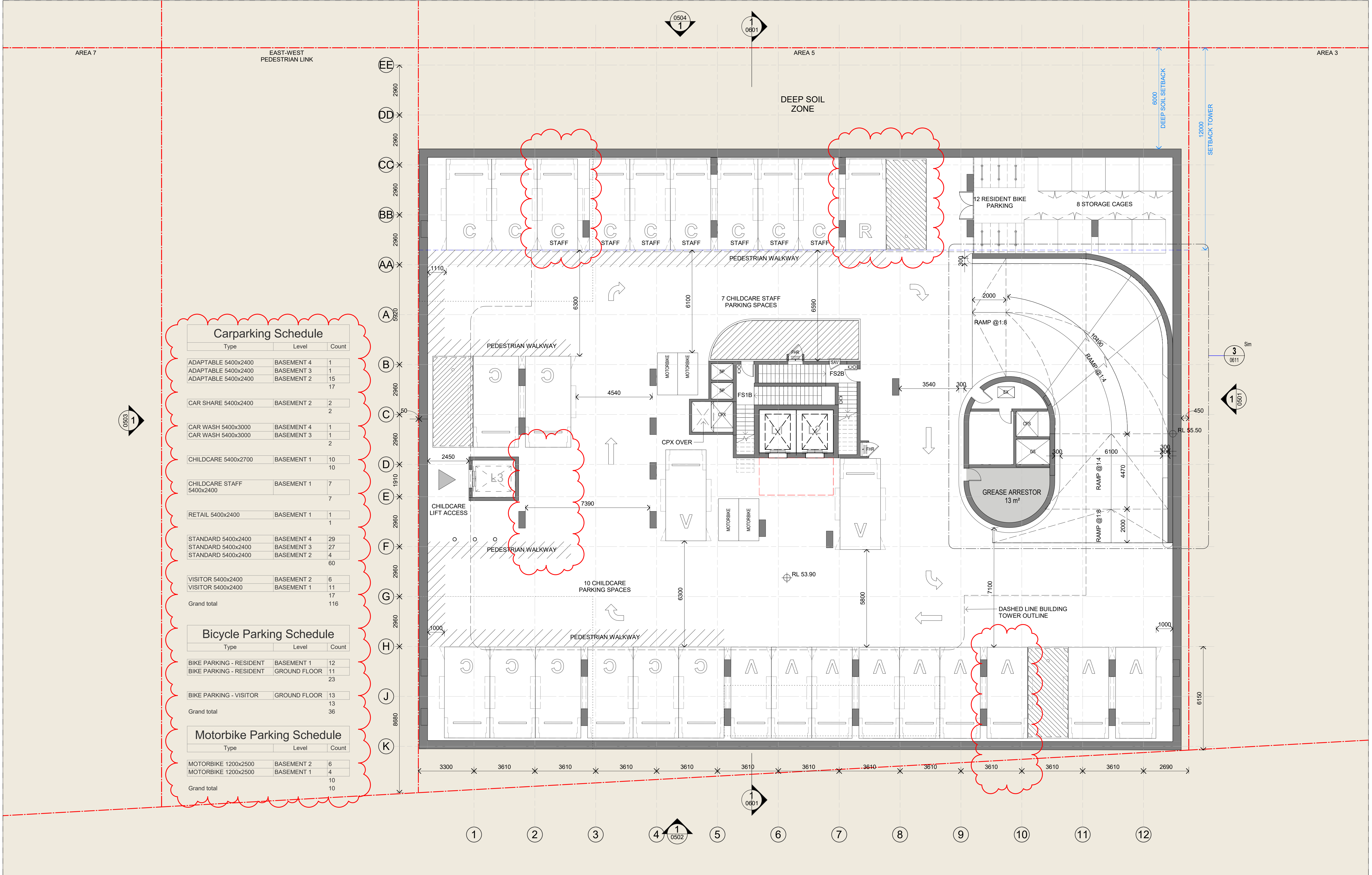
**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au





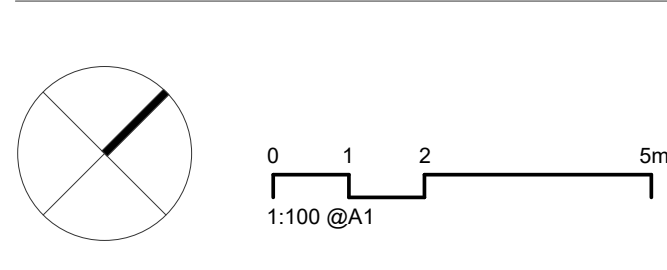




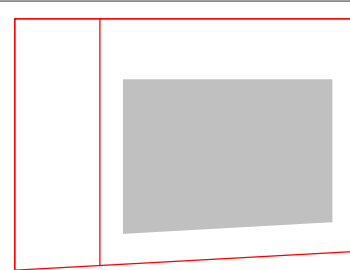


In accepting and utilising this document the recipient agrees that SJB Architects (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN B1

Date

29/04/2022  
Scale  
1 : 100  
Drawn  
ML  
Chk.  
AH  
Drawing No.  
DA-0204

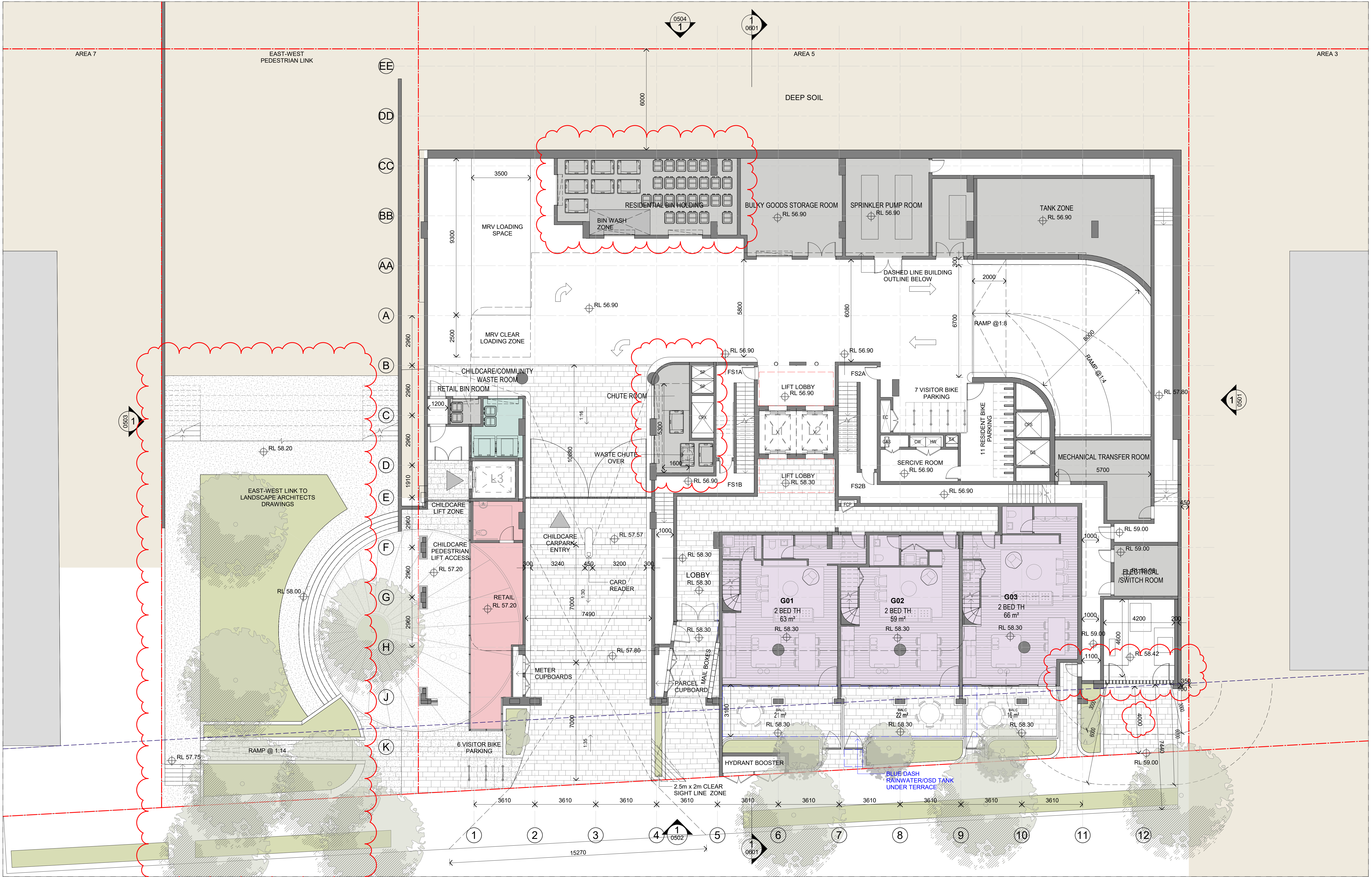
Sheet Size

@ A1  
Job No.  
6429  
Revision  
/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

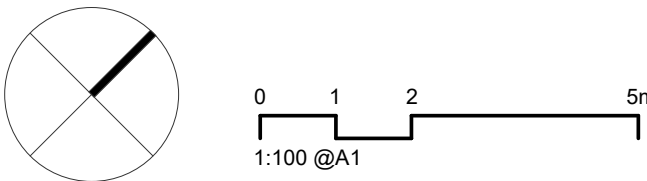




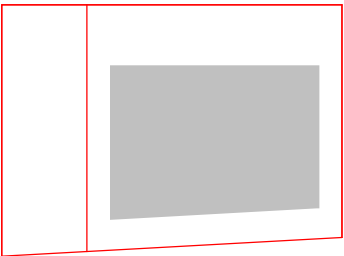


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
35	20/09/2021	FOR INFORMATION	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
39	07/10/2021	OF UPDATE	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN GROUND

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

AH

Job No.

6429

Drawing No.

DA-0205

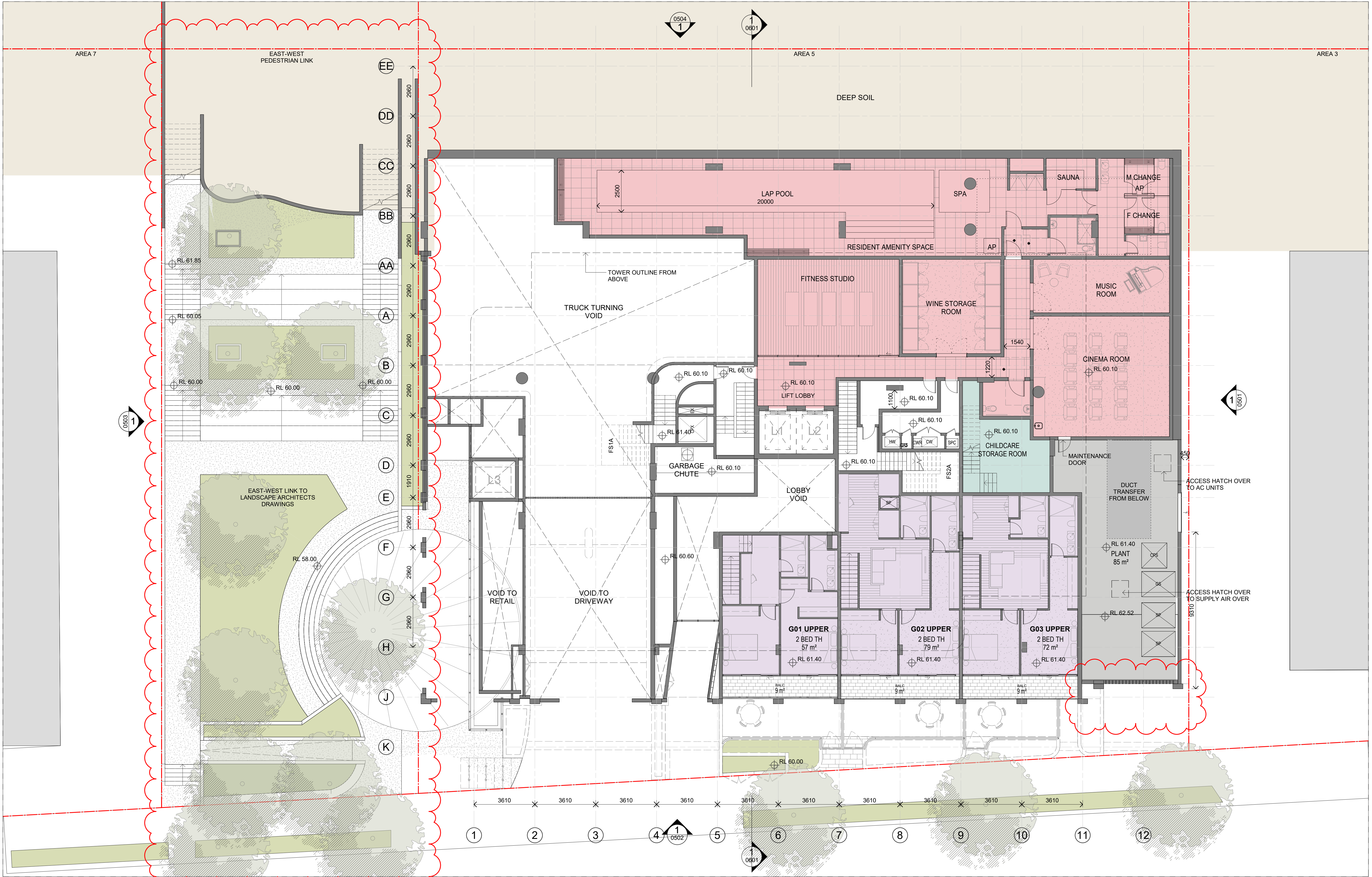
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

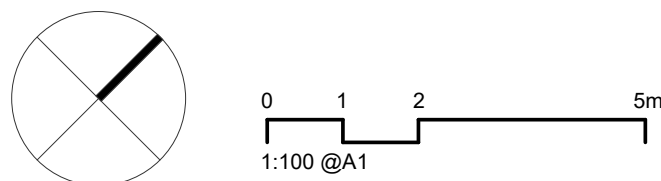




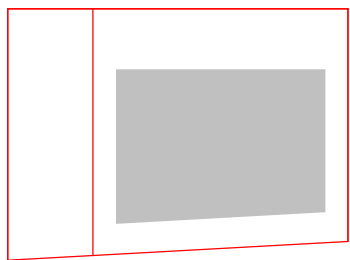


In accepting and utilising this document the recipient agrees that SJB Architects (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
15	01/07/2021	FOR CONSULTANT COORDINATION	LL	AH
17	12/07/2021	FOR REVIEW	ML	AH
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN UPPER GROUND

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

AH

Job No.

6429

Drawing No.

DA-0206

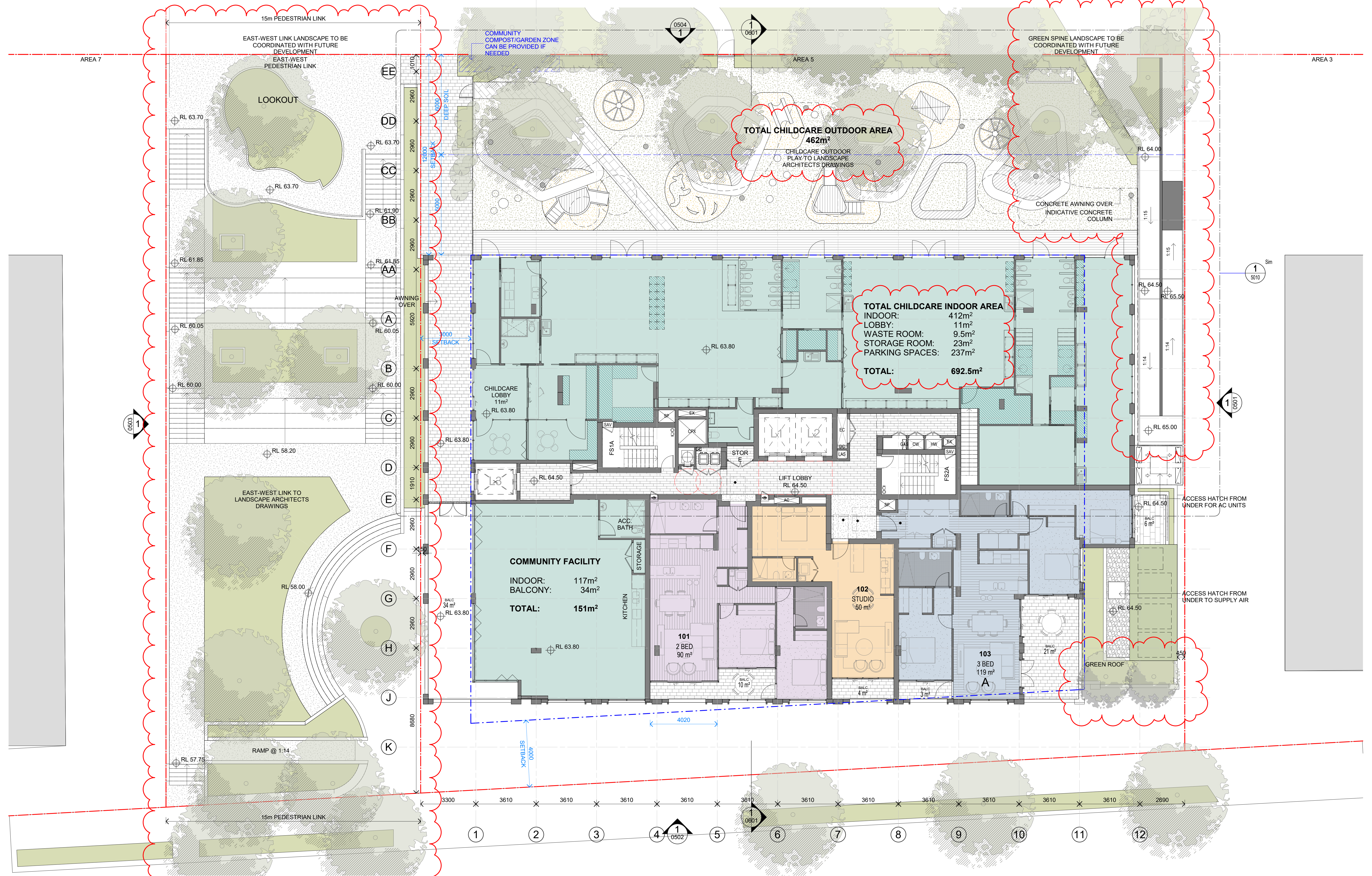
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

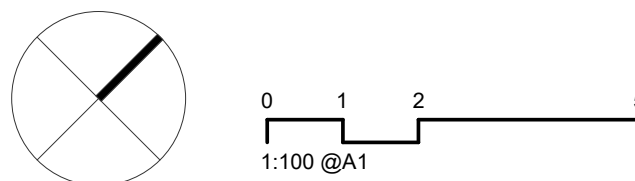




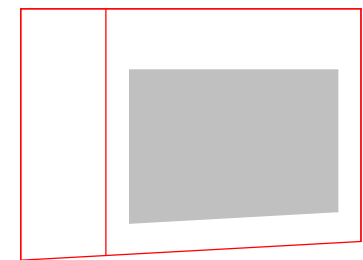


In accepting and utilising this document the recipient agrees that SJB Architects (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
35	20/09/2021	FOR INFORMATION	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN L1

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

AH

Job No.

6429

Drawing No.

DA-0207

Revision

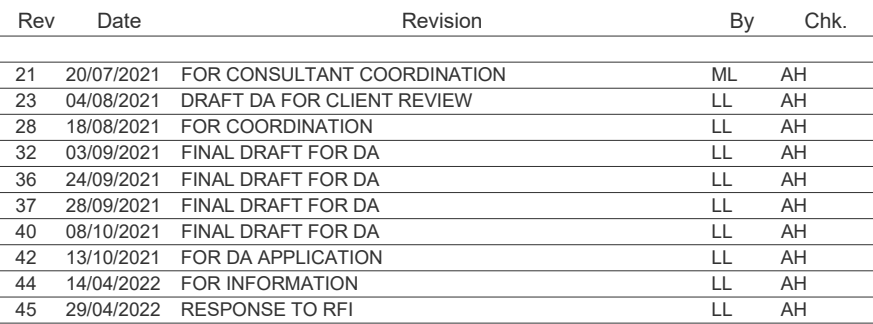
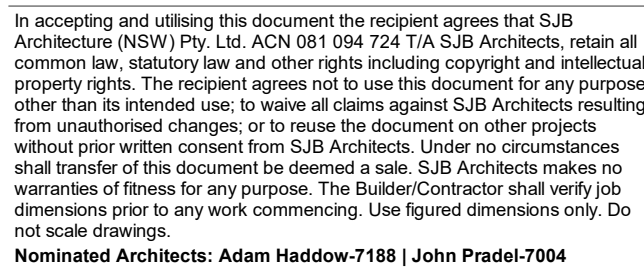
/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au





## SITE 5



Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
BUILDING SECTION 1

BUILDING SECTION 1

Date	Scale	Sheet Size
------	-------	------------

29/04/2022 1 : 150

@ A1

Drawn	Chk.	Job No
-------	------	--------

LL AH 6429

Drawing No.	Revision
-------------	----------

DA-0601 / 15

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 991  
[www.sjb.com.au](http://www.sjb.com.au)



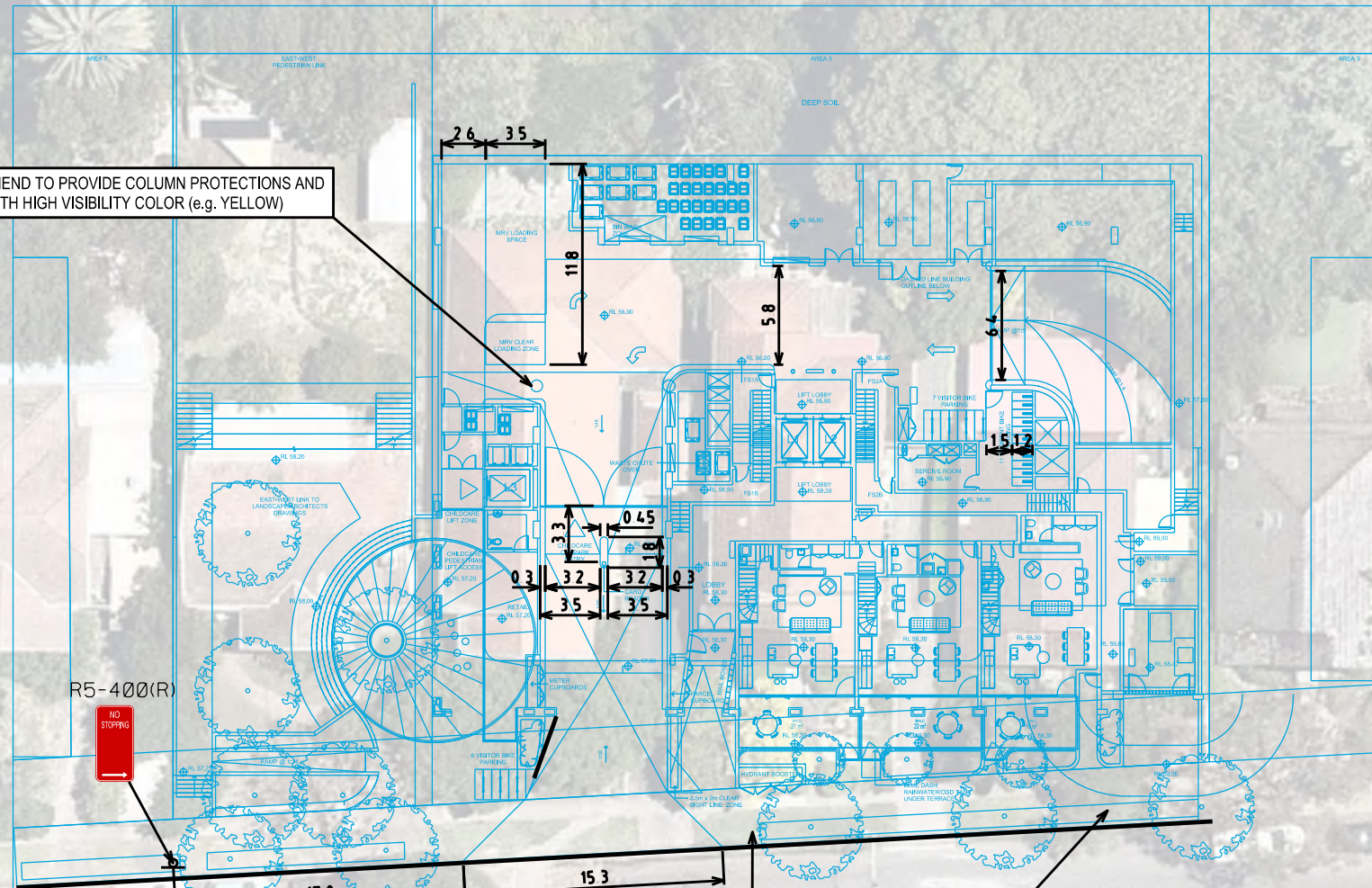
# **APPENDIX B**

## **Swept and Vertical Path Assessments**



NOTES:  
- MAXIMUM CHANGE IN GRADE FOR CARS SHOULD BE 1:8 OVER 2m  
- A MINIMUM HEIGHT CLEARANCE OF 2.2m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE CIRCULATION AISLES AND PARKING SPACES.  
- A MINIMUM HEIGHT CLEARANCE OF 2.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE DISABLED PARKING SPACES  
- A MINIMUM HEIGHT CLEARANCE OF 4.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE SERVICE VEHICLE ACCESS ROADWAYS AND LOADING DOCKS  
- HEIGHT CLEARANCE ABOVE A SAG CHANGE IN GRADES SHOULD BE MEASURED IN ACCORDANCE WITH FIGURE 5.3 AS2890.1-2004.

RECOMMEND TO PROVIDE COLUMN PROTECTIONS AND PAINT WITH HIGH VISIBILITY COLOR (e.g. YELLOW)



CANBERRA AVENUE

REMOVE EXISTING TRAFFIC ISLAND

EXISTING NO STOPPING RESTRICTION TO BE RETAINED

DUNROON AVENUE

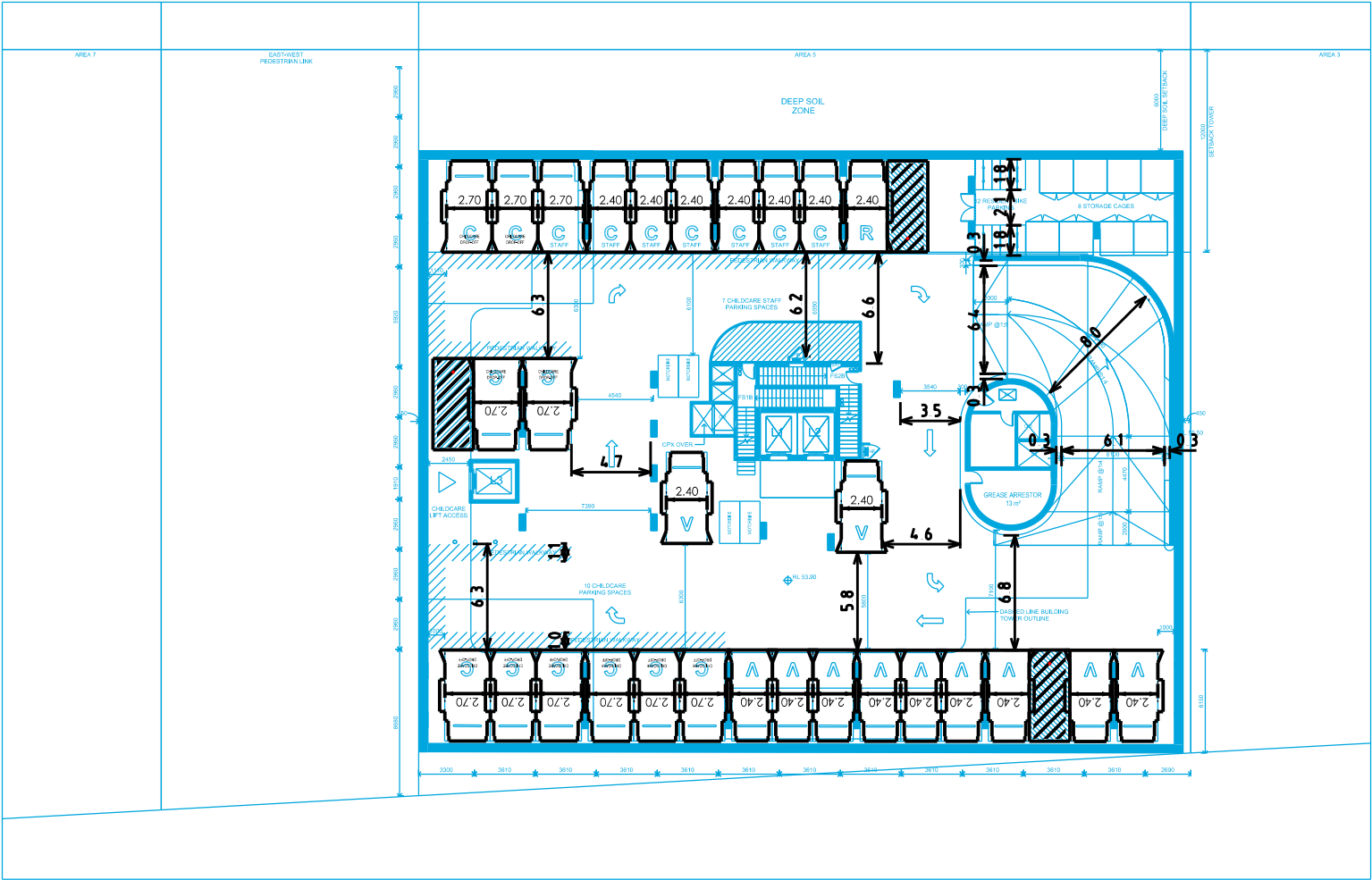


**PRELIMINARY PLAN**  
FOR DISCUSSION PURPOSES  
ONLY SUBJECT TO CHANGE  
WITHOUT NOTIFICATION

**WARNING**  
THE ACCURACY OF INFORMATION  
AND DIMENSIONS SHOWN  
HEREIN IS NOT GUARANTEED.  
THE EXACT LOCATION SHALL BE PROVIDED IN THE  
ALL DIMENSIONS SHOWN ARE NOT GUARANTEED.



NOTES:  
- MAXIMUM CHANGE IN GRADE FOR CARS SHOULD BE 1:8 OVER 2m  
- A MINIMUM HEIGHT CLEARANCE OF 2.2m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE CIRCULATION AISLES AND PARKING SPACES.  
- A MINIMUM HEIGHT CLEARANCE OF 2.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE DISABLED PARKING SPACES  
- A MINIMUM HEIGHT CLEARANCE OF 4.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE SERVICE VEHICLE ACCESS ROADWAYS AND LOADING DOCKS  
- HEIGHT CLEARANCE ABOVE A SAG CHANGE IN GRADES SHOULD BE MEASURED IN ACCORDANCE WITH FIGURE 5.3 AS2890.1-2004.



\\tpa\_data\FFPA\_DATA\W021021144 - 13-19 CANBERRA AVENUE, ST LEONARDS\DRAWINGS\_CAD\21144-MD-02-P6.dgn  
Plt by shirlock

13-19 CANBERRA AVENUE, ST LEONARDS  
CAR PARK COMPLIANCE REVIEW  
BASEMENT 1  
CONCEPT LAYOUT  
DRAWING REF NO. 21144-MD-02-P6

SHEET NO. 02 OF 11

ISSUE DATE 3 MAY 2022

DESIGNED BY  
S.YOU  
REVIEWED BY  
M.KONG  
SCALE  
A3  
0 4 8  
1:400



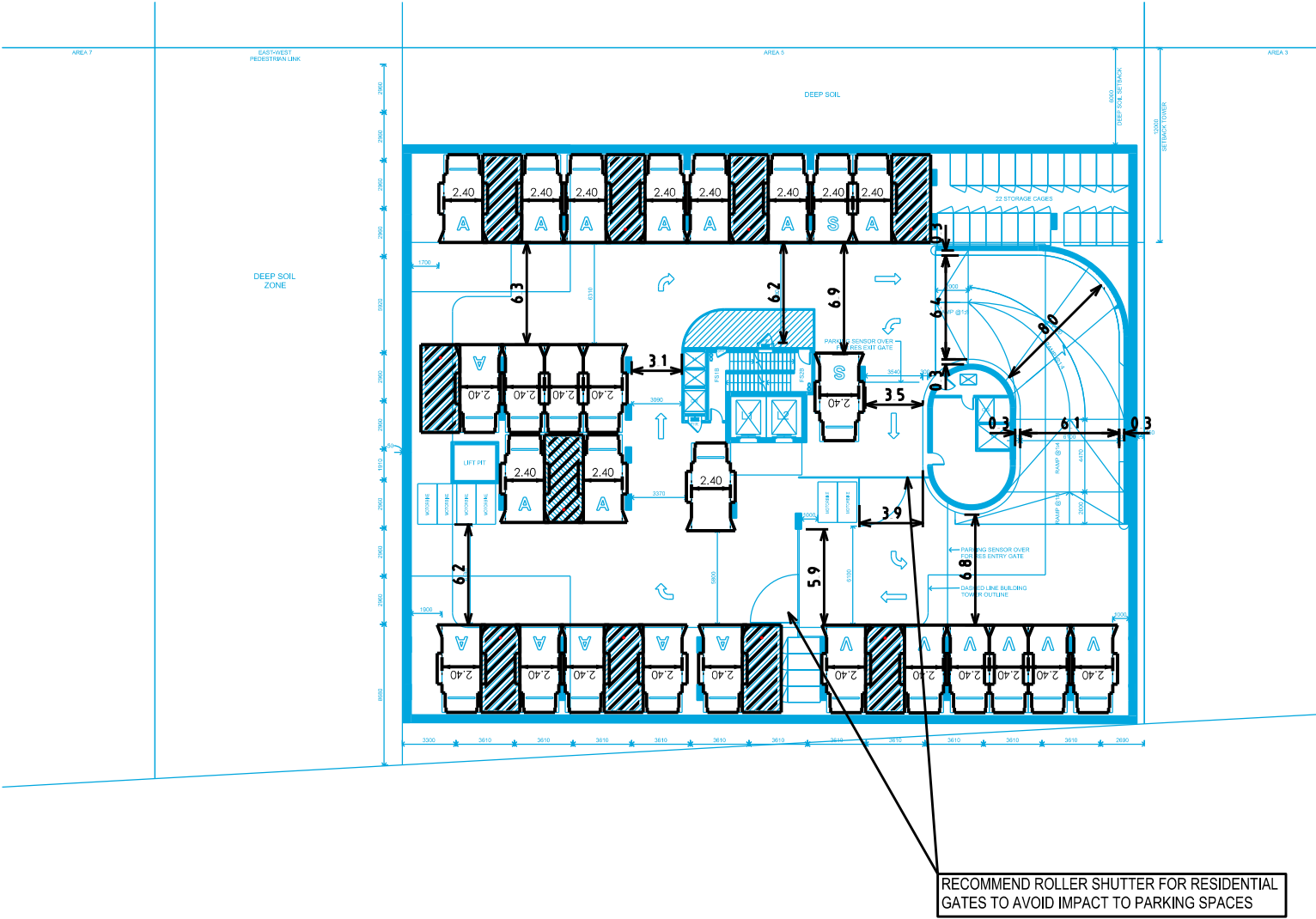
**PRELIMINARY PLAN**  
FOR DISCUSSION PURPOSES  
ONLY SUBJECT TO CHANGE  
WITHOUT NOTIFICATION

**WARNING**  
THE ACCURACY OF UNDERGROUND SERVICES  
IS UNGUARANTEED.  
THE EXACT LOCATION SHALL BE PROVIDED IN BILLS  
ALL EXISTING SERVICES SHOWN ARE NOT GUARANTEED.

**ttpa** TRANSPORT AND TRAFFIC PLANNING ASSOCIATES  
Established 1994  
Address: Level 5, Suite 502 / 282 Victoria Ave, Chatswood NSW 2067  
P: 02 9411 5660 E: info@ttpa.com.au W: www.ttpa.com.au

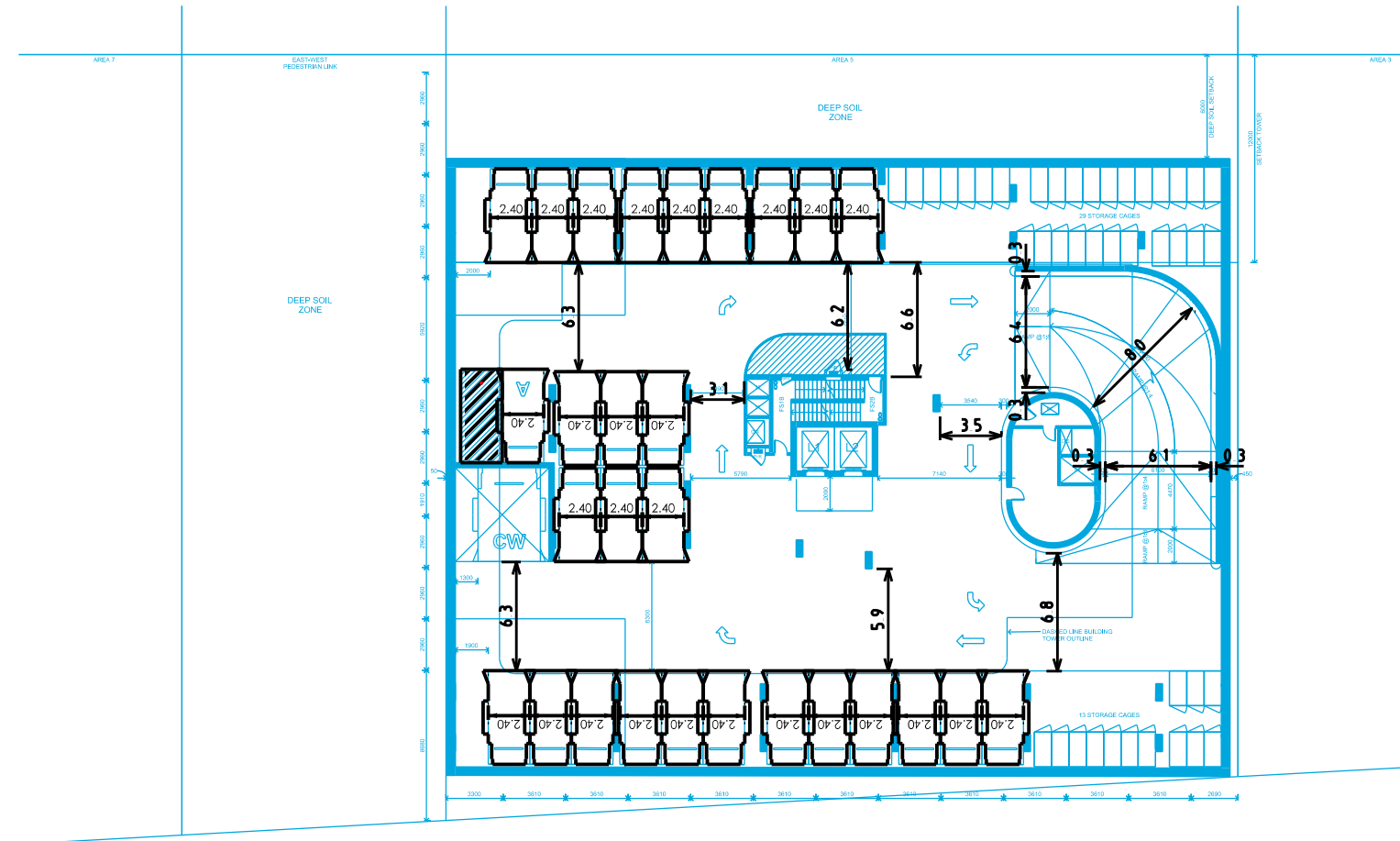


NOTES:  
- MAXIMUM CHANGE IN GRADE FOR CARS SHOULD BE 1:8 OVER 2m  
- A MINIMUM HEIGHT CLEARANCE OF 2.2m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE CIRCULATION AISLES AND PARKING SPACES.  
- A MINIMUM HEIGHT CLEARANCE OF 2.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE DISABLED PARKING SPACES  
- A MINIMUM HEIGHT CLEARANCE OF 4.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE SERVICE VEHICLE ACCESS ROADWAYS AND LOADING DOCKS  
- HEIGHT CLEARANCE ABOVE A SAG CHANGE IN GRADES SHOULD BE MEASURED IN ACCORDANCE WITH FIGURE 5.3 AS2890.1-2004.

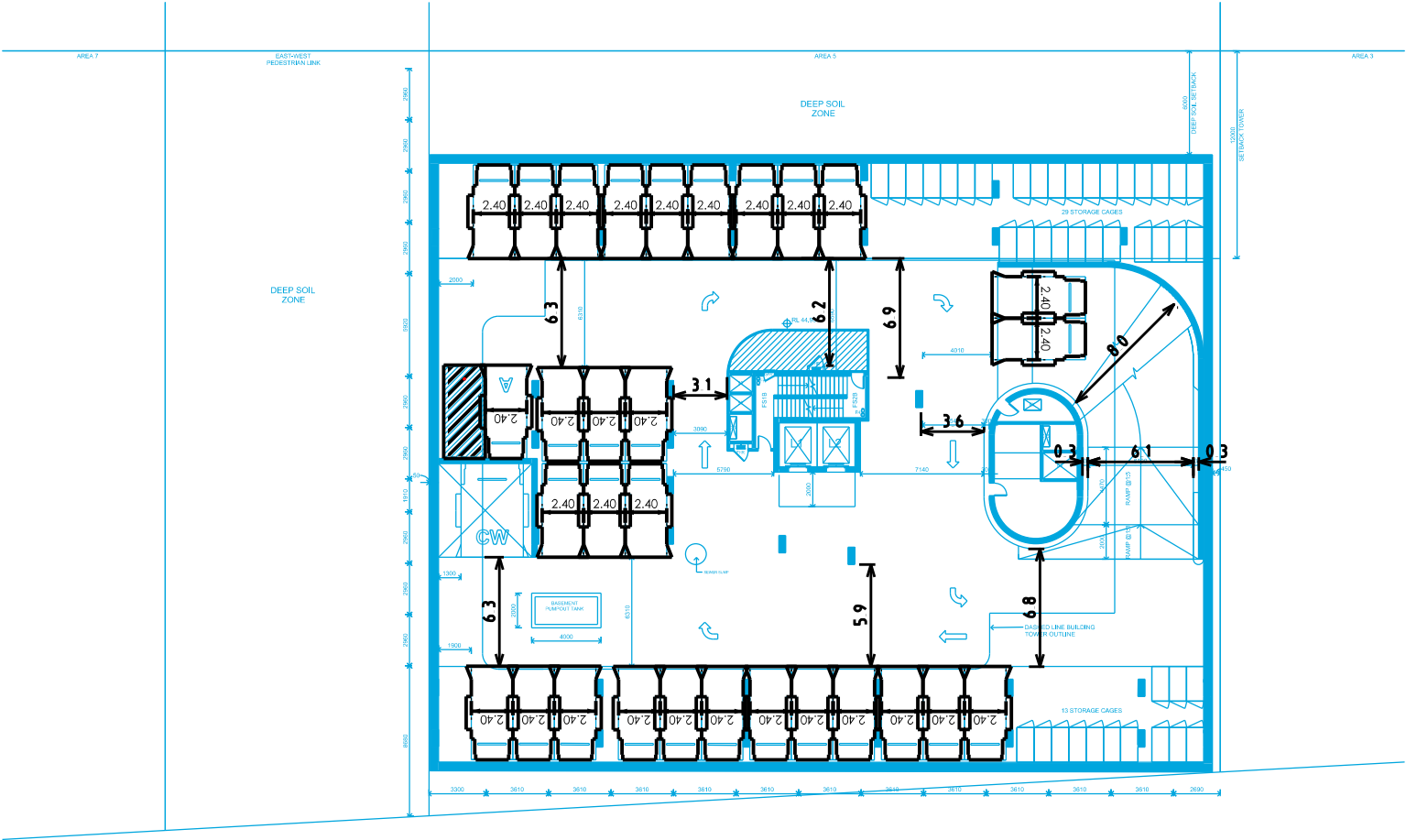


NOTES:

- MAXIMUM CHANGE IN GRADE FOR CARS SHOULD BE 1:8 OVER 2m
- A MINIMUM HEIGHT CLEARANCE OF 2.2m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE CIRCULATION AISLES AND PARKING SPACES.
- A MINIMUM HEIGHT CLEARANCE OF 2.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE DISABLED PARKING SPACES
- A MINIMUM HEIGHT CLEARANCE OF 4.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE SERVICE VEHICLE ACCESS ROADWAYS AND LOADING DOCKS
- HEIGHT CLEARANCE ABOVE A SAG CHANGE IN GRADES SHOULD BE MEASURED IN ACCORDANCE WITH FIGURE 5.3 AS2890.1-2004.



NOTES:  
- MAXIMUM CHANGE IN GRADE FOR CARS SHOULD BE 1:8 OVER 2m  
- A MINIMUM HEIGHT CLEARANCE OF 2.2m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE CIRCULATION AISLES AND PARKING SPACES.  
- A MINIMUM HEIGHT CLEARANCE OF 2.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE DISABLED PARKING SPACES  
- A MINIMUM HEIGHT CLEARANCE OF 4.5m (TO SERVICES AND STRUCTURE) SHOULD BE PROVIDED ABOVE SERVICE VEHICLE ACCESS ROADWAYS AND LOADING DOCKS  
- HEIGHT CLEARANCE ABOVE A SAG CHANGE IN GRADES SHOULD BE MEASURED IN ACCORDANCE WITH FIGURE 5.3 AS2890.1-2004.



\\tpa\_data\FFPA\_DATA\W021021144 - 13-19 CANBERRA AVENUE, ST LEONARDS\DRAWINGS\_CAD\21144-MD-02-P6.dgn  
Plt by shierlock

13-19 CANBERRA AVENUE, ST LEONARDS  
CAR PARK COMPLIANCE REVIEW  
BASEMENT 4  
CONCEPT LAYOUT  
DRAWING REF NO. 21144-MD-02-P6

SHEET NO. 05 OF 11

ISSUE DATE 3 MAY 2022

DESIGNED BY  
S.YOU  
REVIEWED BY  
M.KONG  
SCALE  
A3  
0 4 8  
1400

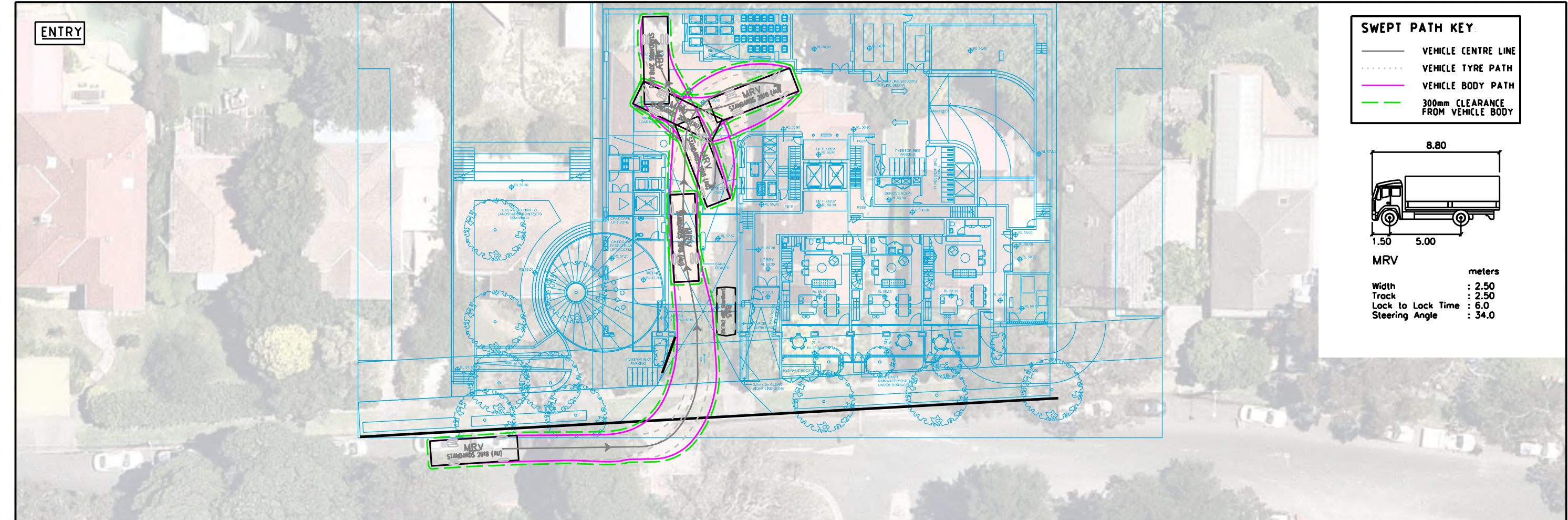


**PRELIMINARY PLAN**  
FOR DISCUSSION PURPOSES  
ONLY SUBJECT TO CHANGE  
WITHOUT NOTIFICATION

**WARNING**  
THE CONTENTS OF THIS DOCUMENT ARE  
FOR INFORMATION ONLY.  
THE EXACT LOCATION SHALL BE PROVIDED IN THE  
ALL EXISTING SERVICES SHALL BE NOT GUARANTEED.

**ttpa** TRANSPORT AND TRAFFIC PLANNING ASSOCIATES  
Established 1994  
Address: Level 5, Suite 502 / 282 Victoria Ave, Chatswood NSW 2067  
P: 02 9411 5660 E: info@ttpa.com.au W: www.ttpa.com.au

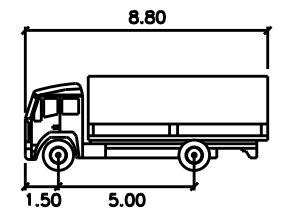




ENTRY

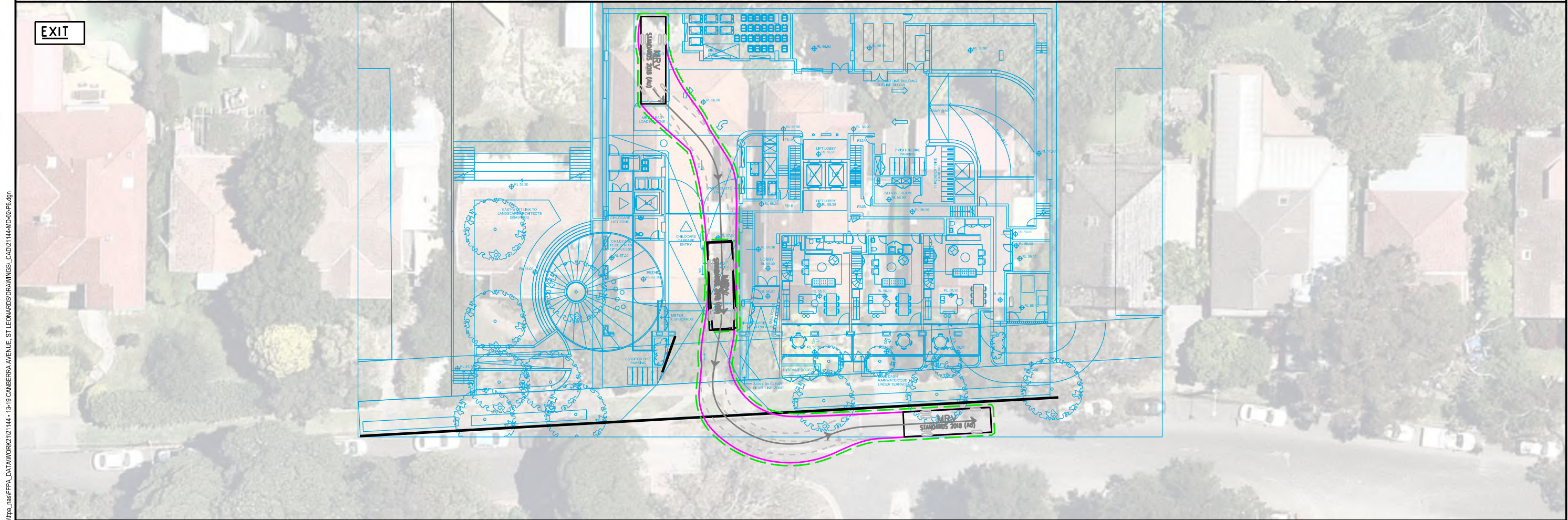
**SWEPT PATH KEY**

- VEHICLE CENTRE LINE
- ..... VEHICLE TYRE PATH
- VEHICLE BODY PATH
- 300mm CLEARANCE FROM VEHICLE BODY



**MRV**

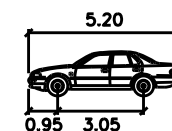
	units
Width	: 2.50
Track	: 2.50
Lock to Lock Time	: 6.0
Steering Angle	: 34.0



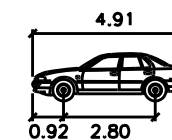
EXIT

\\tpa\_data\FFPA\_DATA\WORK\21144 - 13-19 CANBERRA AVENUE, ST LEONARDS\DRAWINGS\_CAD\21144-MD-02-P6.dgn  
Plt by shirlock

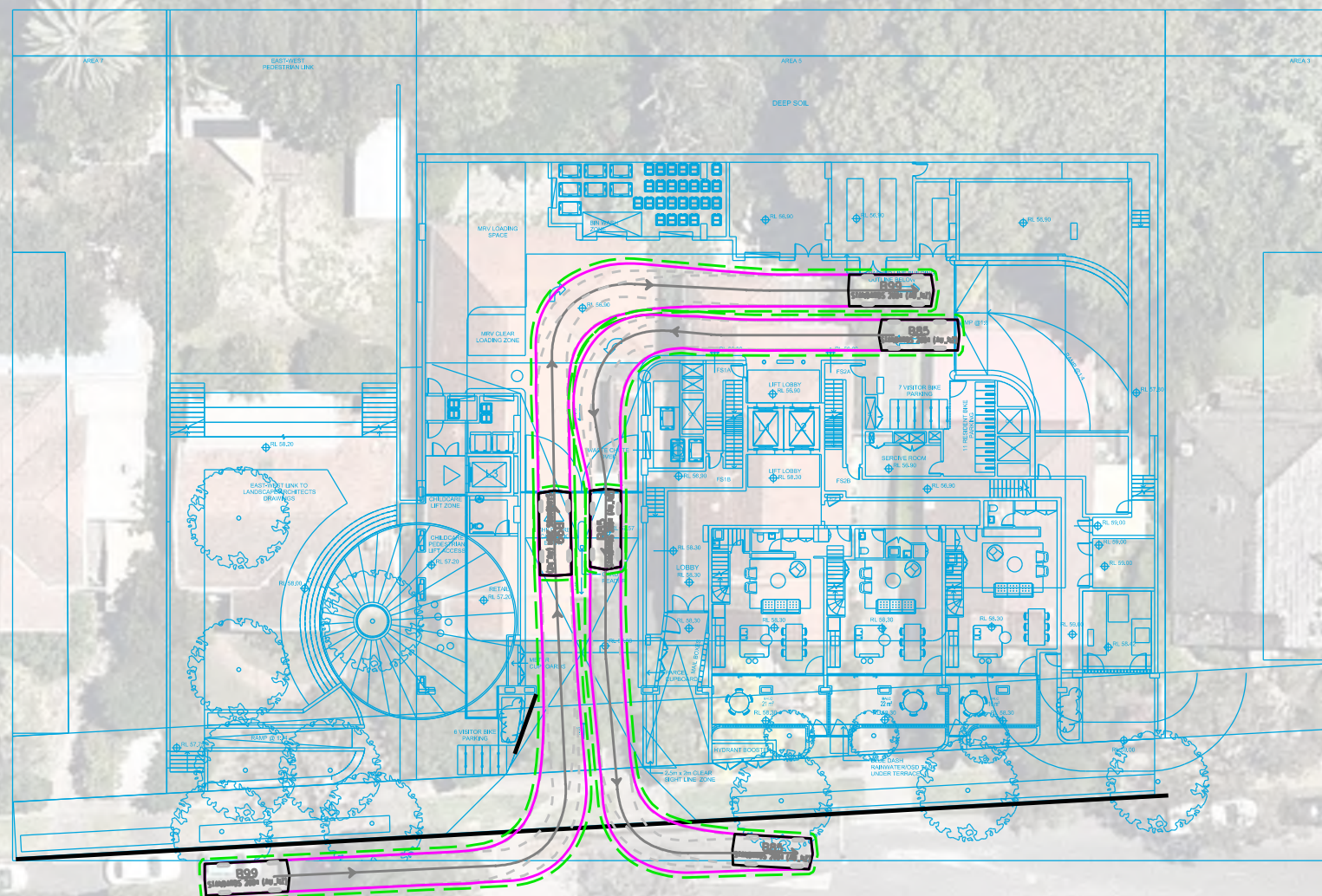




Width	: 1.94
Track	: 1.84
Lock to Lock Time	: 6.0
Steering Angle	: 33.9



Width	: 1.87
Track	: 1.77
Lock to Lock Time	: 6.0
Steering Angle	: 34.1



**PRELIMINARY PLAN**  
FOR DISCUSSION PURPOSES  
ONLY SUBJECT TO CHANGE  
WITHOUT NOTIFICATION

**WARNING**

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY.  
THE EXACT LOCATIONS SHALL BE PROVIDED ON SITE  
ALL EXISTING SERVICES SHOWN ARE NOT GUARANTEED

**ttpa** TRANSPORT AND TRAFFIC PLANNING ASSOCIATES  
Established 1994

Address: Level 5, Suite 502 / 282 Victoria Ave, Chatswood NSW 2067  
P: 02 9411 5660 E: [info@ttpa.com.au](mailto:info@ttpa.com.au) W: [www.ttpa.com.au](http://www.ttpa.com.au)



BASEMENT 1

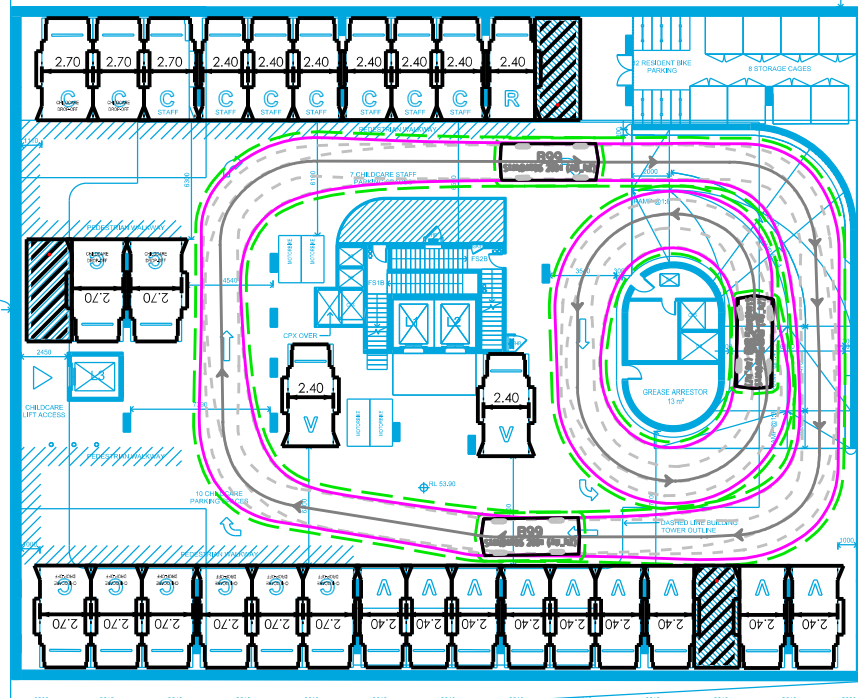
BASEMENT 2

EAST-WEST  
PEDESTRIAN LINK

AREA 3

DEEP SOIL  
ZONE

AREA 3

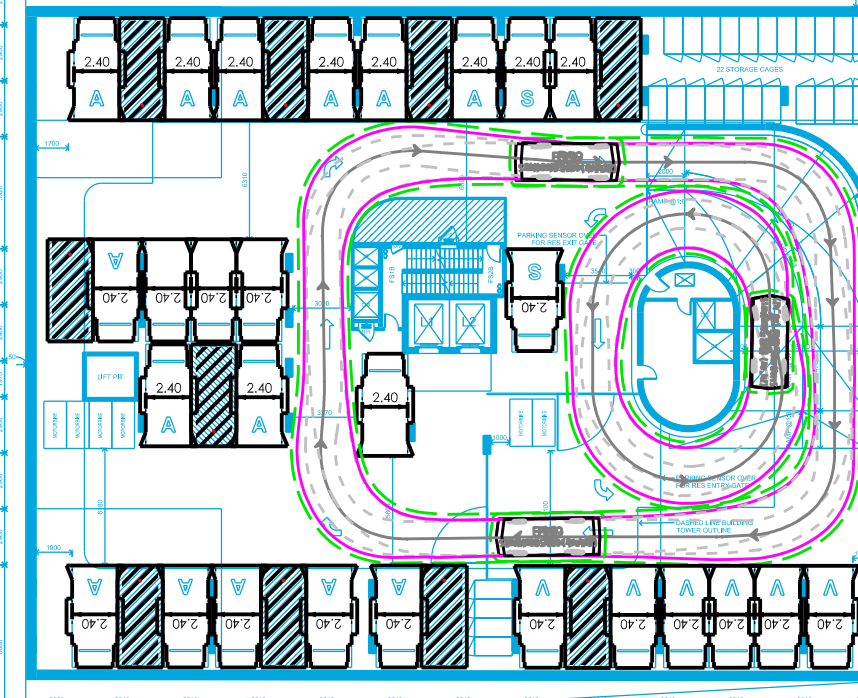


EAST-WEST  
PEDESTRIAN LINK

AREA 3

DEEP SOIL  
ZONE

AREA 3



SWEPT PATH KEY:	
	VEHICLE CENTRE LINE
	VEHICLE TYRE PATH
	VEHICLE BODY PATH
	300mm CLEARANCE FROM VEHICLE BODY

	5.20		4.91
0.95	3.05	0.92	2.80
B99		B85	
Width	1.94	Width	1.87
Track	1.84	Track	1.77
Lock to Lock Time	6.0	Lock to Lock Time	6.0
Steering Angle	33.9	Steering Angle	34.1

13-19 CANBERRA AVENUE, ST LEONARDS  
CAR PARK COMPLIANCE REVIEW  
BASEMENT 1 & 2  
SWEPT PATH ASSESSMENT  
DRAWING REF NO. 21144-MD-02-P6

SHEET NO. 08 OF 11

ISSUE DATE 3 MAY 2022

DESIGNED BY  
S.YOU

REVIEWED BY  
M.KONG

SCALE  
A3

0 4 8  
1400



**PRELIMINARY PLAN**  
FOR DISCUSSION PURPOSES  
ONLY SUBJECT TO CHANGE  
WITHOUT NOTIFICATION

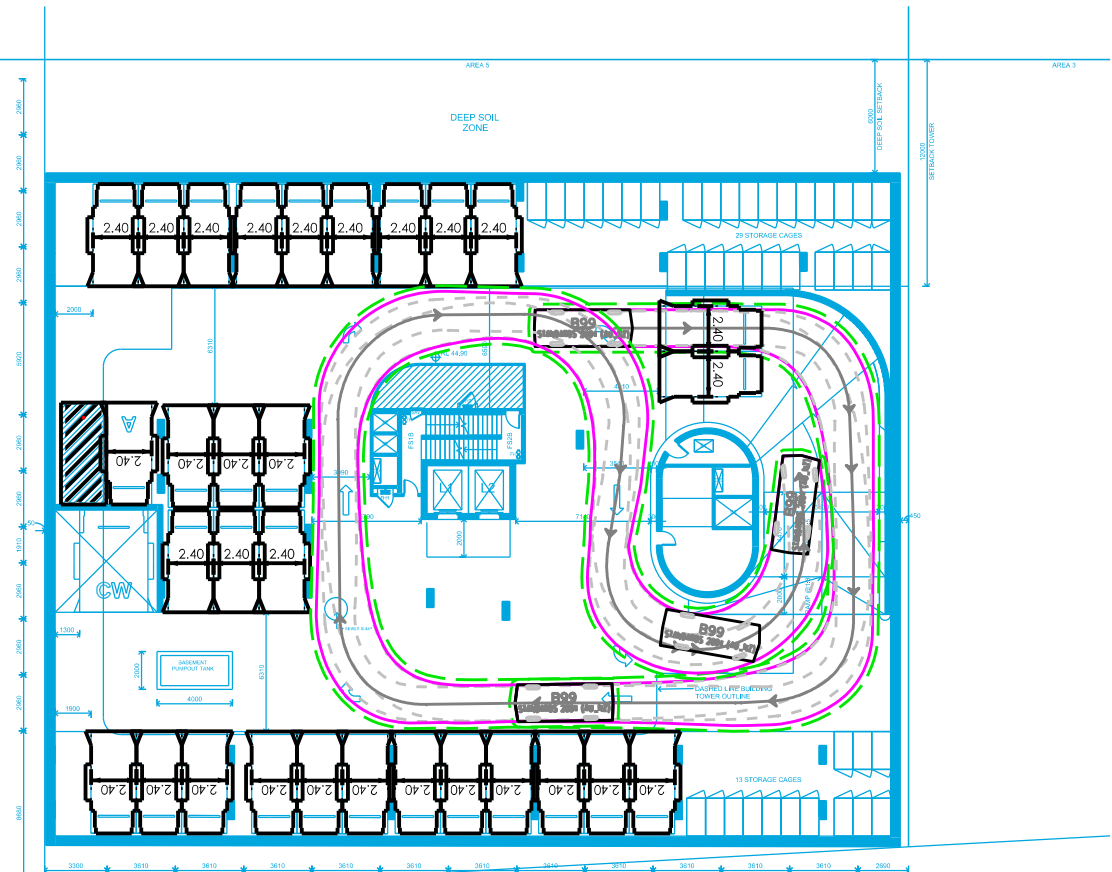
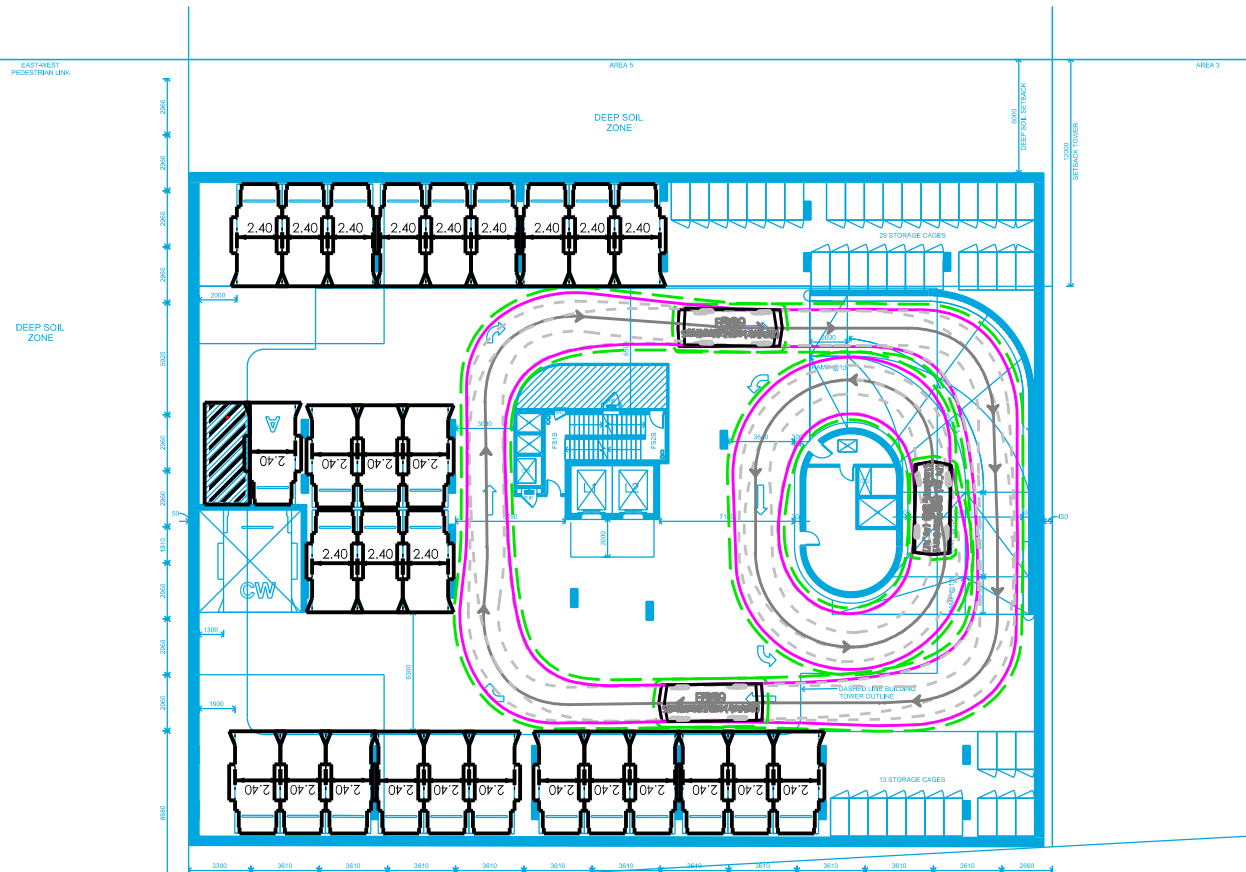
**WARNING**  
THE LOCATION OF UNDERGROUND SERVICES  
HAS NOT BEEN VERIFIED.  
THE EXACT LOCATION SHALL BE PROVIDED IN BILLS  
ALL EXISTING SERVICES SHOWN ARE NOT GUARANTEED.

**ttpa** TRANSPORT AND TRAFFIC PLANNING ASSOCIATES  
Established 1994

Address: Level 5, Suite 502 / 282 Victoria Ave, Chatswood NSW 2067  
P: 02 9411 5660 E: info@tpa.com.au W: www.tpa.com.au

BASEMENT 3

BASEMENT 4



SWEPT PATH KEY:	
	VEHICLE CENTRE LINE
	VEHICLE TYRE PATH
	VEHICLE BODY PATH
	300mm CLEARANCE FROM VEHICLE BODY

	5.20		4.91
	0.95 3.05		0.92 2.80
B99		B85	
Width	1.94	Width	1.87
Track	1.84	Track	1.77
Lock to Lock Time	6.0	Lock to Lock Time	6.0
Steering Angle	33.9	Steering Angle	34.1

13-19 CANBERRA AVENUE, ST LEONARDS  
CAR PARK COMPLIANCE REVIEW  
BASEMENT 1 & 2  
SWEPT PATH ASSESSMENT  
DRAWING REF NO. 21144-MD-02-P6

SHEET NO. 09 OF 11

ISSUE DATE 3 MAY 2022

DESIGNED BY  
S.YOU

REVIEWED BY  
M.KONG

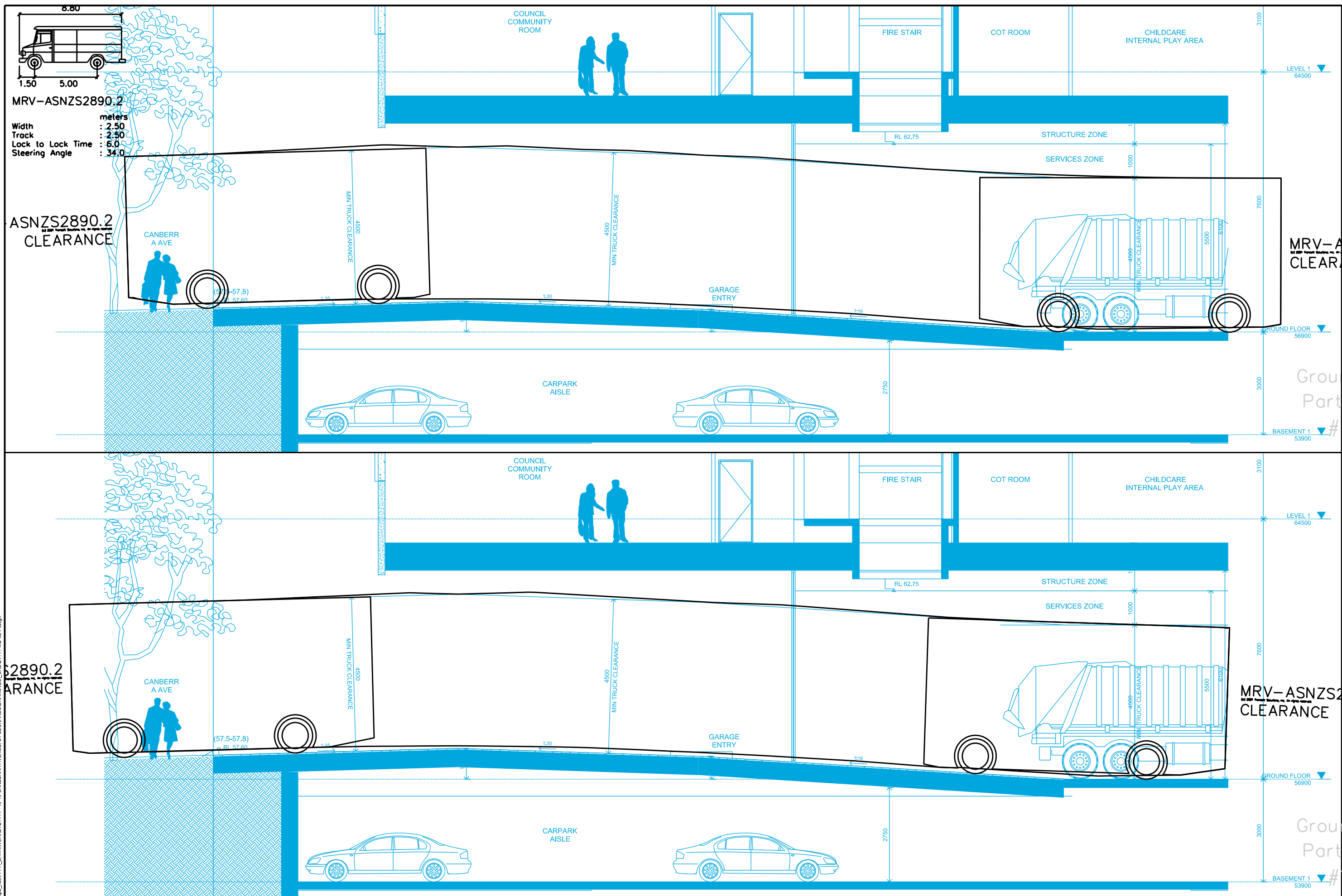
SCALE  
A3



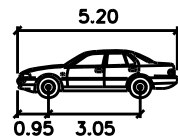
**PRELIMINARY PLAN**  
FOR DISCUSSION PURPOSES  
ONLY SUBJECT TO CHANGE  
WITHOUT NOTIFICATION

**WARNING**  
THE CONTENTS OF THIS DOCUMENT ARE  
FOR INFORMATION ONLY.  
THE EXACT LOCATION SHALL BE PROVIDED IN THE  
ALL DRAWING SERVICES SHALL BE NOT GUARANTEED.

**ttpa** TRANSPORT AND TRAFFIC PLANNING ASSOCIATES  
Established 1994  
Address: Level 5, Suite 502 / 282 Victoria Ave, Chatswood NSW 2067  
P: 02 9411 5660 E: info@tpa.com.au W: www.tpa.com.au

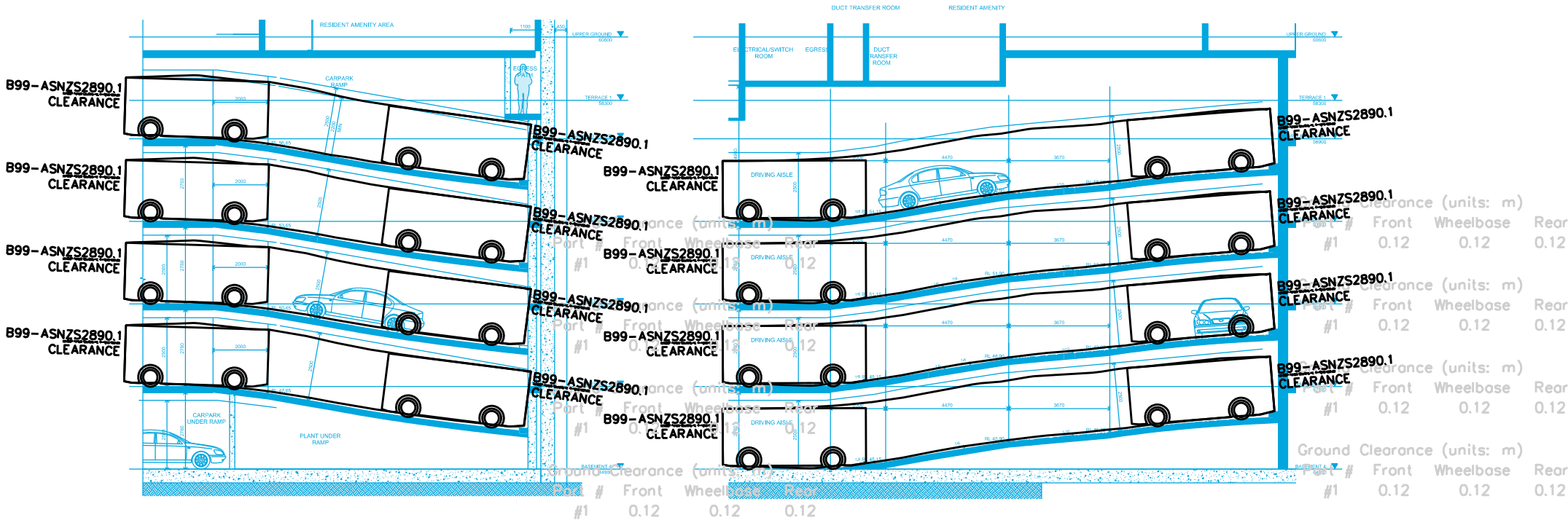
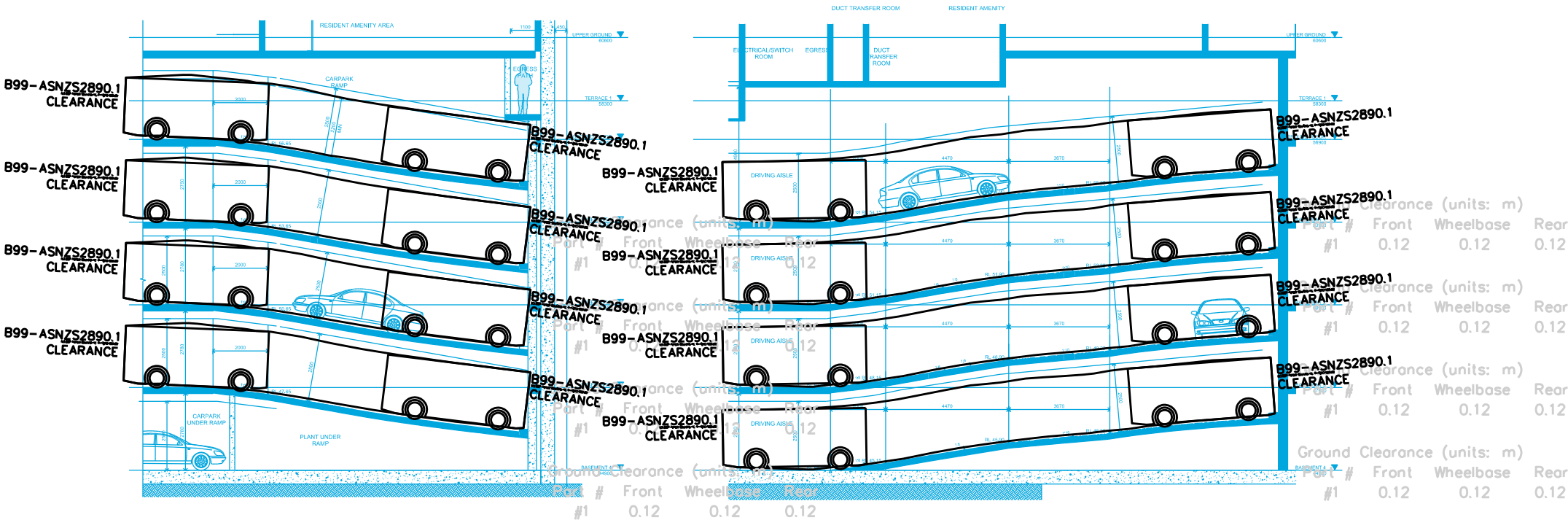






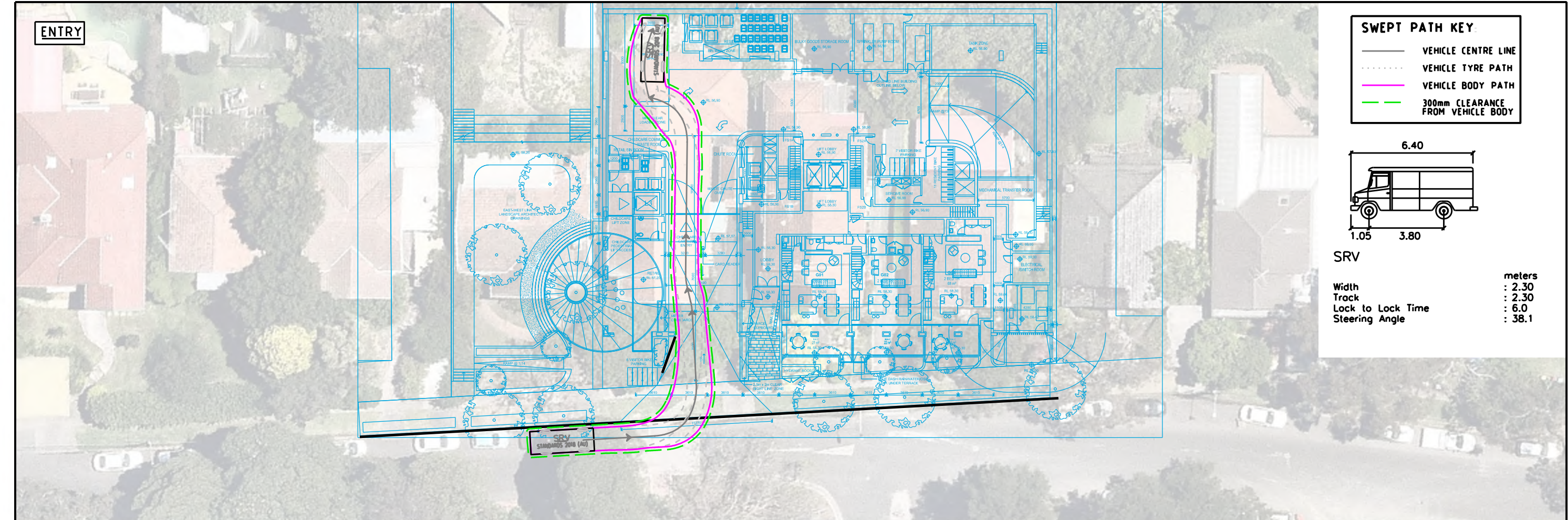
B99-ASNZS2890.1

Width : 1.94 meters  
Track : 1.84  
Lock to Lock Time : 6.0  
Steering Angle : 33.9



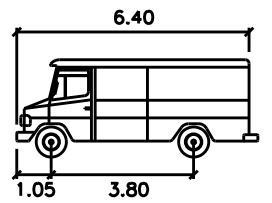
\\tpa\_data\FFPA\_DATA\WORK\21144-13-19 CANBERRA AVENUE, ST LEONARDS\DRAWINGS\_CAD\21144-MD-02-P6.dgn  
Plot by shirlock





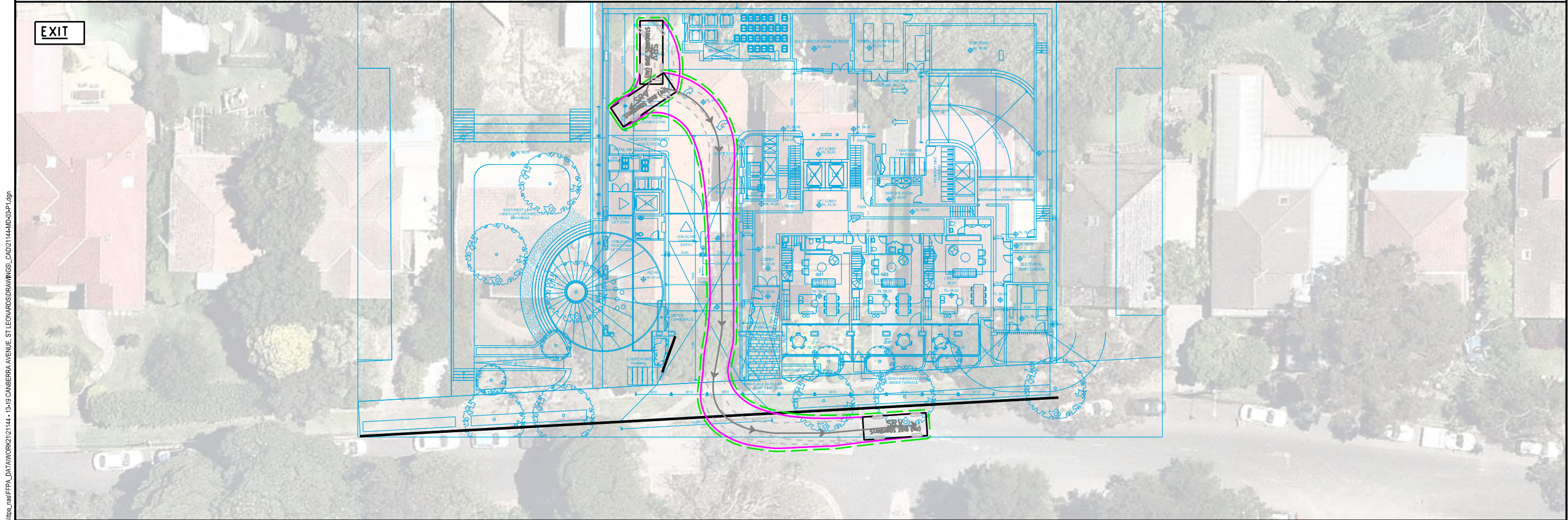
**SWEPT PATH KEY:**

- VEHICLE CENTRE LINE
- ... VEHICLE TYRE PATH
- VEHICLE BODY PATH
- 300mm CLEARANCE FROM VEHICLE BODY



SRV

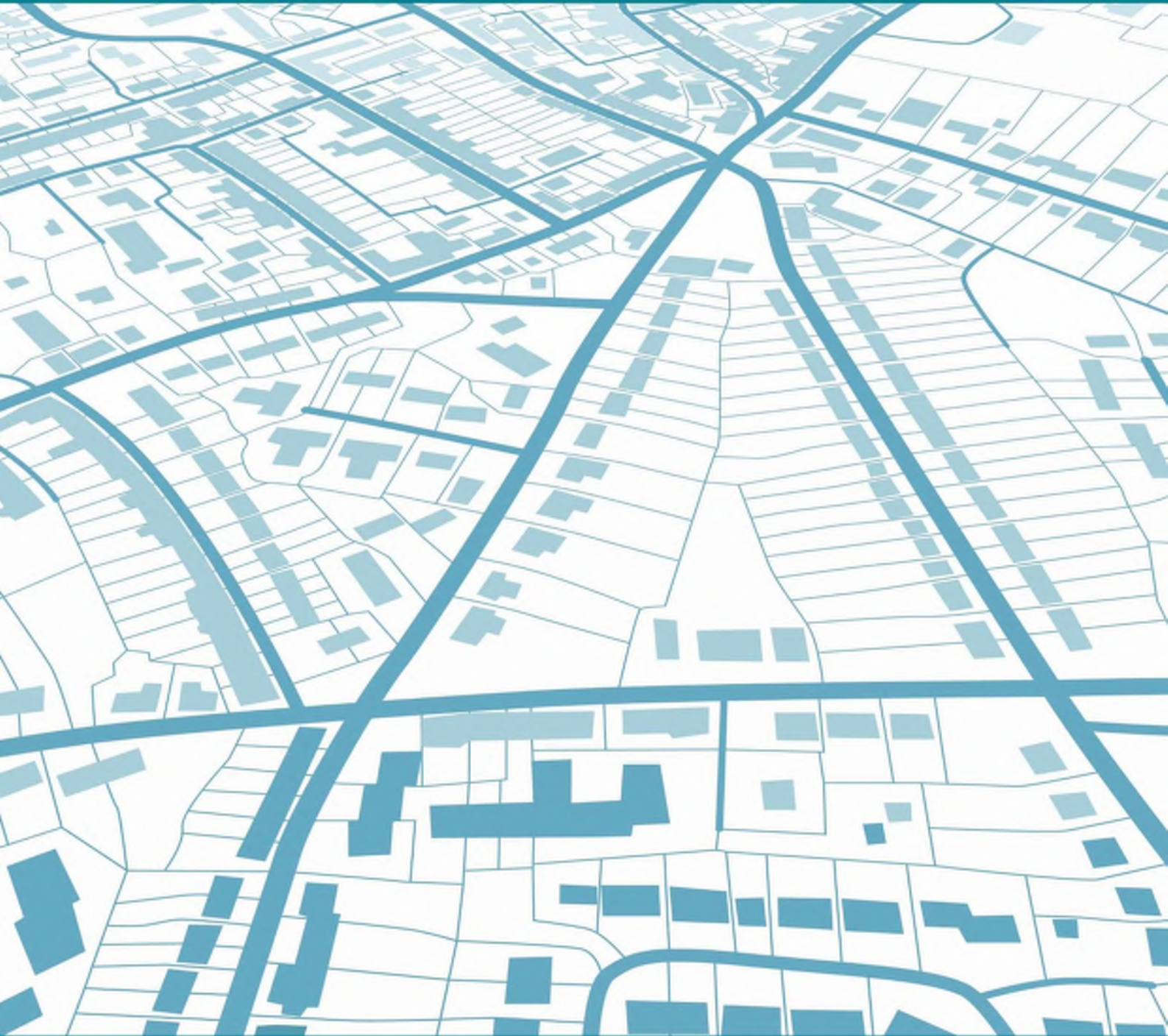
Width	: 2.30
Track	: 2.30
Lock to Lock Time	: 6.0
Steering Angle	: 38.1





# **APPENDIX C**

## **Sustainable Travel and Access Plan**



# **13-19 Canberra Avenue, St Leonards**

## **Proposed Mixed-Use Development**

---

### **Sustainable Travel and Access Plan**

Ref: 21144  
Date: May 2022  
Issue: A

## Table of Contents

---

<b>1.0</b>	<b>INTRODUCTION .....</b>	<b>2</b>
<b>2.0</b>	<b>PROPOSED DEVELOPMENT .....</b>	<b>3</b>
<b>3.0</b>	<b>SUSTAINABLE TRANSPORT .....</b>	<b>5</b>
3.1	Public Transport Services .....	5
3.2	Walking Infrastructure .....	6
3.3	Cycle Infrastructure .....	7
3.4	Local Car Share .....	8
<b>4.0</b>	<b>GREEN TRAVEL PLAN.....</b>	<b>10</b>
4.1	Introduction .....	10
4.2	Objectives .....	10
<b>5.0</b>	<b>MODAL SHIFT .....</b>	<b>12</b>
5.1	Introduction .....	12
5.2	Implementation Plan.....	12
5.3	Site Specific Measures.....	15
<b>6.0</b>	<b>MANAGEMENT OF THE PLAN.....</b>	<b>17</b>
6.1	Monitoring .....	17
6.2	Monitoring Milestones .....	18
6.3	Evaluation of Targets .....	19
6.4	Existing Travel Circumstance.....	20
6.5	Modal Share Targets.....	20

## List of Appendices

Appendix A	Architectural Plans
Appendix B	Transport Services

## 1.0 Introduction

---

This Sustainable Travel and Access Plan (STAP) has been prepared to accompany a Development Application to Lane Cove Council for a proposed mixed-use development at 13-19 Canberra Avenue, St Leonards.

This STAP has been prepared in satisfaction of Section 5 – Access of LCDCP 2009 Part C Residential Localities – Locality 8 – St Leonards South Precinct.

The site is located on the western side of Canberra Avenue and comprises a consolidation of 4 existing dwelling allotments. The development proposal involves the demolition of the existing buildings and the construction of a new mixed-use residential building with 84 apartments, childcare centre, community facility and 4 level basement car parking.

The St Leonards centre has experienced a significant reinvigoration with new commercial and residential apartment development occurring as part of the urban consolidation process. The centre benefits from the significant attributes of excellent rail and bus transport as well as employment opportunities and nearby shopping and entertainment facilities.

## 2.0 Proposed Development

---

The proposed development scheme involves the demolition of existing buildings and excavation of the site to construct a 13-level building over a 4-level basement car park.

The new development will comprise:

### Residential

1 x studio apartment

26 x one-bedroom apartments (including 10 adaptable units)

26 x two-bedroom apartments (including 4 adaptable units)

28 x three-bedroom apartments (including 3 adaptable units)

**Total: 81 dwellings (including 17 adaptable units)**

### Childcare Centre

60 children

12 babies aged 0-2

20 toddlers aged 2-3

28 pre-schoolers aged 3-5)

14 employees

### Retail

37m<sup>2</sup> GFA

Vehicle access will be located on Canberra Avenue at the south-eastern boundary.

A total of 116 car parking, in addition to 10 motorcycle and 36 bicycle spaces, is proposed within the 4-level basement carpark, in full compliance with Council's parking requirements, in the following breakdown:

- 77 resident spaces (including 17 disabled spaces)

## Transport and Traffic Planning Associates

- 17 visitor spaces (including 4 disabled spaces)
- 2 car wash spaces
- 2 car share spaces
- 7 CCC staff spaces
- 10 short-term drop off spaces for the CCC use (including 1 disabled space)
- 1 disabled retail space (for staff only)

Architectural details of the development proposal are provided on the plans prepared by SJB Architects are reproduced in Appendix A.



## 3.0 Sustainable Transport

---

### 3.1 Public Transport Services

The site is highly accessible by public transport.

#### **Bus Services**

Access to the Metropolitan Transport Network for the site is currently provided by the bus services, which run along the Pacific Highway and River Road with bus stops within 350m walking distance northwest and southwest of the site. These services provide connections to Gladesville, North Sydney, Gore Hill, Bella Vista, Castle Hill, Denistone East, Lane Cove, and the CBD. These bus routes provide frequent services during the weekday peak hour periods.

Details of the bus services available near the site are provided in Appendix B.

#### **Railway Services**

St Leonards Railway Station is located within a 7-minute or 450m walk north of the site. The station is frequently serviced by three rail lines, namely T1 – North Shore and Western Line, T9 – Northern Line, and CCN – Central Coast and Newcastle Line.

These rail services connect to the Sydney Metro Northwest line from the existing Chatswood Interchange to Tallawong Metro Station with an interchange at Epping Station to other rail services.

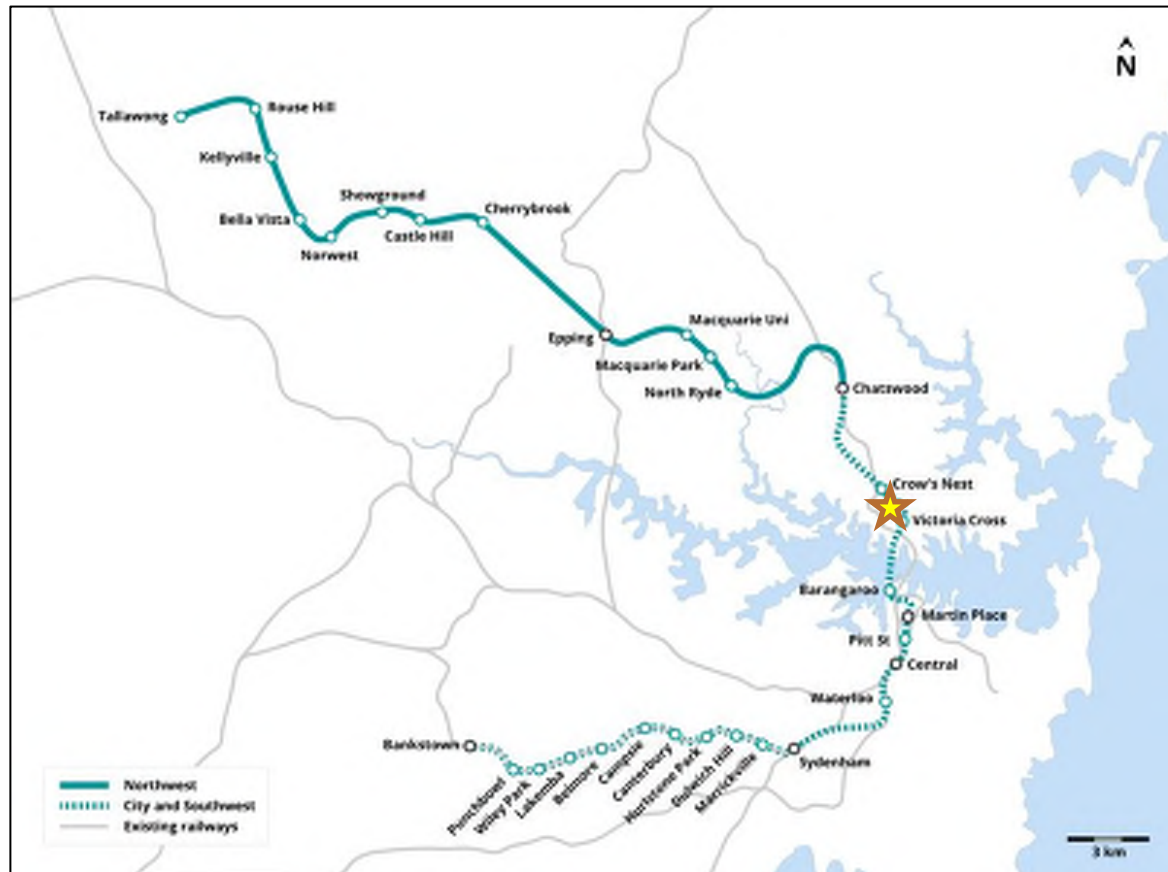
Details of the train services available at St Leonards Station are provided in Appendix B.

#### **Future Crows Nest Sydney Metro Station**

The site is within 800m of the Crows Nest Metro Station, which is currently under construction as part of the Sydney Metro City and Southwest Line. After completion in 2024, this station will provide metro trains every four minutes during peak hours and connect the area to Sydney Central Business District, Northwest Sydney, and

Southwest Sydney. The site is expected to benefit greatly from the Sydney Metro project, given the increased incentives to travel by train on the regular fast service.

The station locations and rail alignment of the Sydney Metro are shown below.



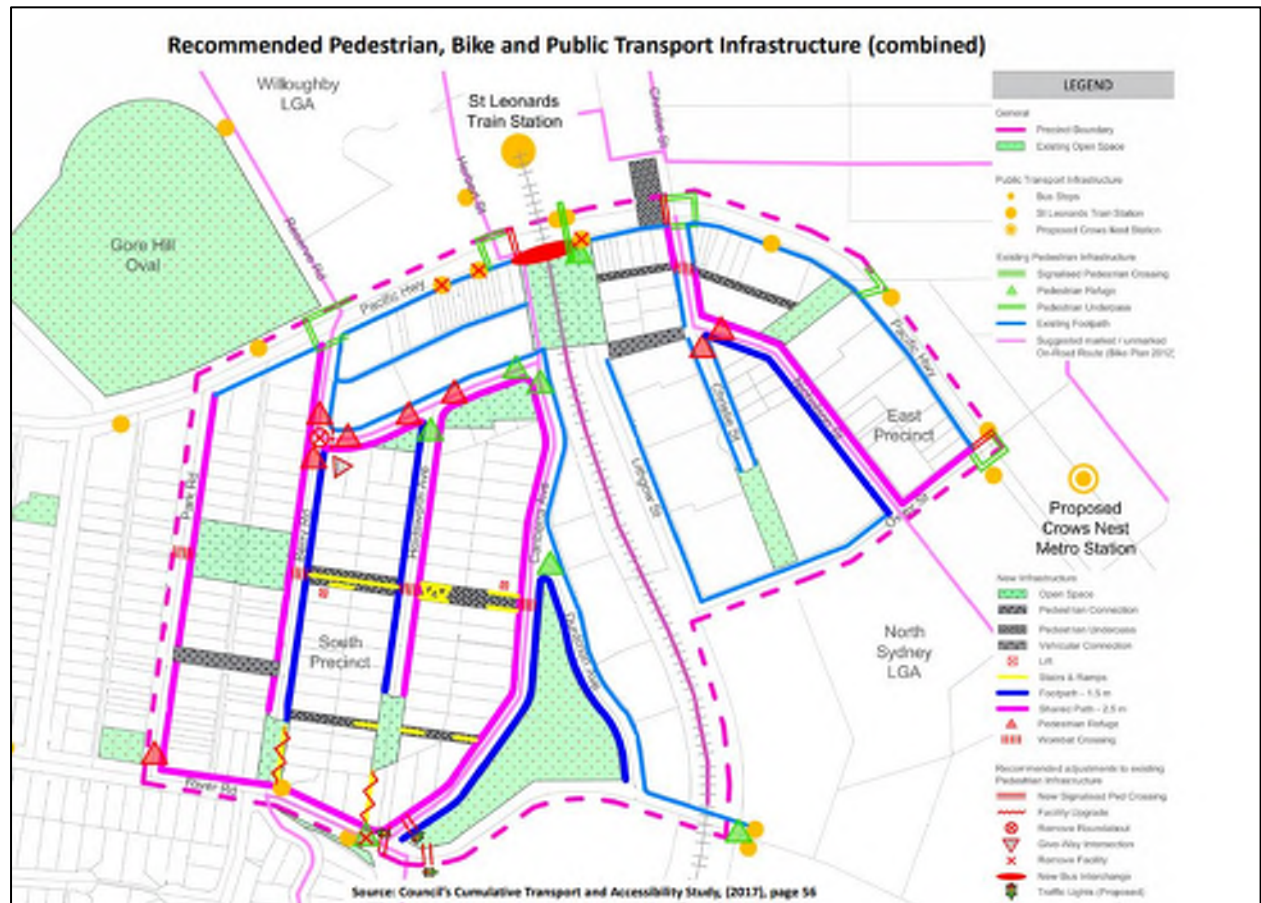
Source: Sydney Metro

## 3.2 Walking Infrastructure

The site provides a high level of pedestrian connectivity to public transport services and the surrounding residential and commercial precincts. There are generally established and wide pedestrian footpaths on both sides of the local road network in the vicinity of the site.

The signalised pedestrian crossings at the Pacific Highway intersecting with Reserve Road and Berry Road provide formal and safe crossing facilities between the site and nearby bus stops on Pacific Highway.

PTC consultants in conjunction with Lane Cove Council recommended a combined infrastructure plan (2017) for pedestrian, bicycle, and public transport (see figure below).

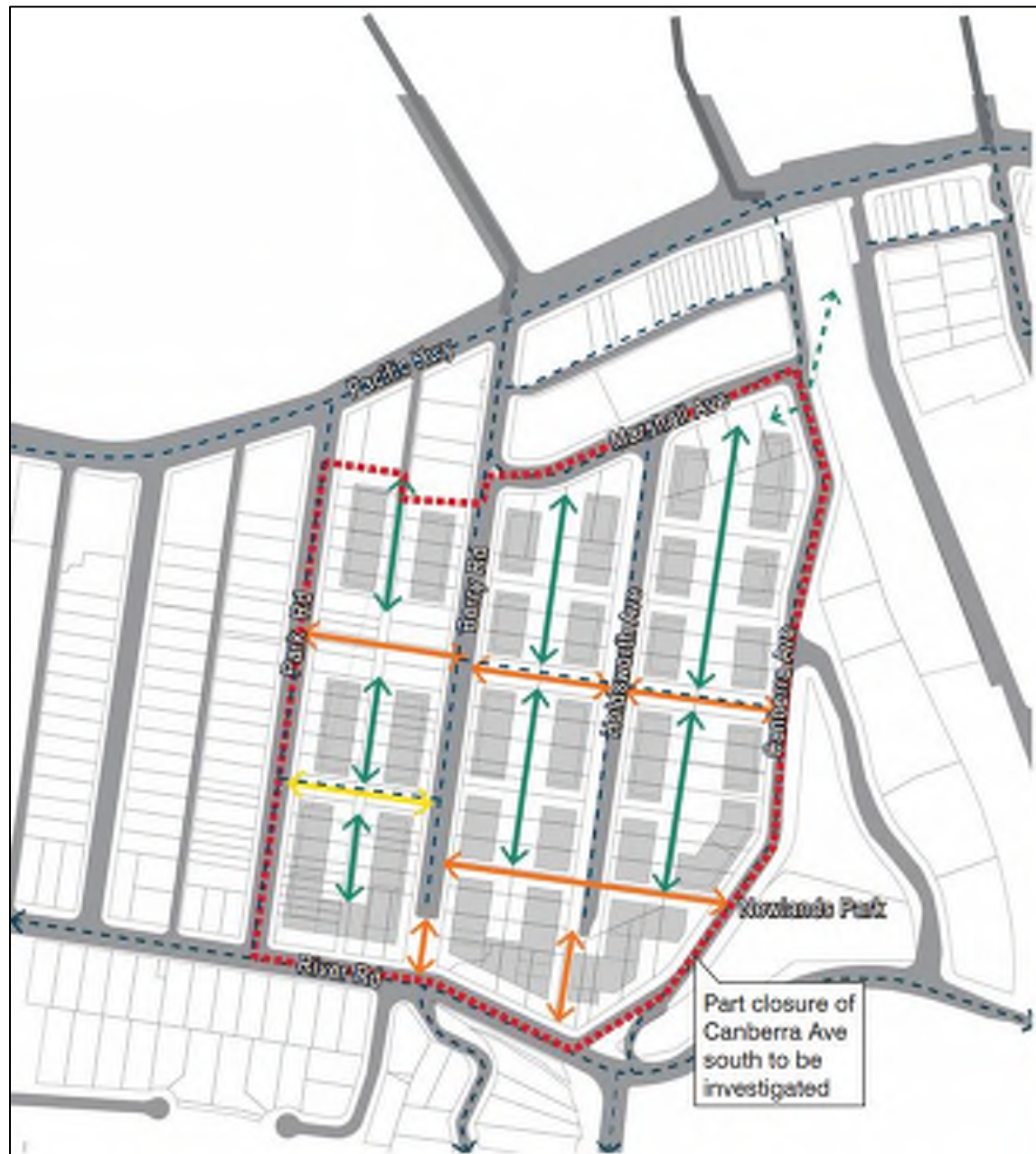


Source: PTC (St. Leonards Cumulative Transport and Accessibility Study, 2017)

### 3.3 Cycle Infrastructure

The site is well situated within Sydney's cycle network with cycle routes surrounding the site with the nearest route along River Road to the south of the site. The new master plan developed by Lane Cove Council in 2019 proposes a new shared path along Canberra Avenue, Holdsworth Avenue, Berry Road providing east-west connections for cyclists. The bicycle network surrounding the site is shown in the figure below, with details provided in figure overleaf. The site is expected to benefit from new shared user paths (SUP). These new SUP routes will aid in improving safety, convenience, and mobility for cyclists.



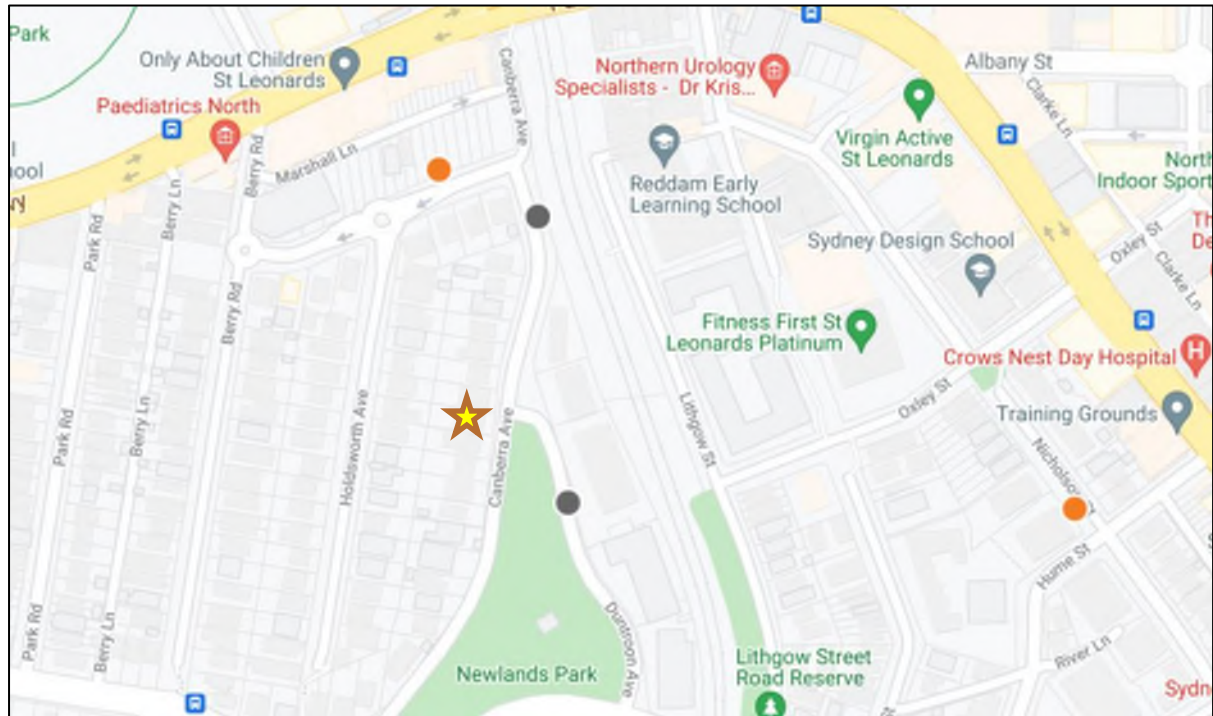


New Connections:	
—>	Cycle route Lane Cove Bike Plan 2019
↔	Green spine connections (restricted access)
↔	New road connections
↔	Pedestrian links
...	Future Plaza / station connection

Source: Oculus Architecture (St. Leonards south landscape masterplan 2020)

## 3.4 Local Car Share

3 Go-Get car sharing pods are located within walking distance from the site. The nearest pod is located 1-minute or 100m walking distance east of the site (see the following figure) along Duntroon Avenue.



Source: GoGet

When completed, the development will provide 2 shared cars within the basement carpark to provide an economical alternative to car ownership for residents and businesses. Car sharing helps to reduce the number of cars on the road and alleviate problems associated with traffic congestion.

## 4.0 Green Travel Plan

---

### 4.1 Introduction

Transport is a necessary part of life which has effects that can be managed. There is a current major focus on improving transport services as well as cycling facilities and provisions for pedestrians in the site. As well as delivering better environmental outcomes, providing a range of travel choices with a focus on walking, cycling and public transport will have major public health benefits and will ensure a strong and prosperous Site.

The existing and proposed infrastructure in the Centre forms a major part of the initiatives to encourage the reduction of vehicle transport use. However, a Green Travel Plan will ensure that the transport infrastructure and services are utilised to the fullest extent to achieve a sustainable outcome.

A Green Travel Plan is a package of measures aimed at promoting and encouraging sustainable travel and reducing reliance on the private car. It will make apparent, encourage and support residents/tenants, staff and visitors to travel in a more sustainable way. GTPs can provide both:

- ❖ measures which encourage reduced car use
- ❖ measures which encourage or support sustainable travel, reduce the need to travel or make travelling more efficient

“Active transport” includes travel by foot, bicycle and other non-motorised vehicles. The use of public transport is also included in the definition as it often involves some walking or cycling to pick-up to and from drop-off points.

### 4.2 Objectives

The aim of the GTP is to bring about better transport arrangements for the residents, staff and visitors. The key objectives of the GTP are to encourage:

- ❖ walking
- ❖ cycling
- ❖ the use of public transport
- ❖ reduced use of private vehicles
- ❖ where a private vehicle is to be used, encourage more efficient use. Such smarter travel use can include not travelling by single-occupancy cars in peak hours, not using cars for short-distance trips when alternative public transport is available, etc.

The introduction of this GTP will:

- ❖ advise the wider travel choices
- ❖ help identify transport means which will result in them being healthier, fitter and more productive
- ❖ provide equal opportunities by supporting those without access to a car
- ❖ aim to reduce congestion and provide easily identifiable transport means, improving relations with neighbours and enabling deliveries and essential journeys to move more freely

It is the objective of this GTP to encourage sustainable transport means which could result in the following benefits:

- ❖ higher mode share targets
- ❖ greenhouse gas emission reductions and carbon footprint minimisation
- ❖ healthy living (those living, working and visiting the site)
- ❖ social equity and reduction in social exclusion
- ❖ improve knowledge and contributes to learning



## 5.0 Modal Shift

### 5.1 Introduction

The location of the site, in terms of its close proximity to a wide range of sustainable transport, is a key attribute of the development. The approved development will capitalise upon and will enhance these links.

The travel plan will then put in place measures to further influence the travel patterns of those people residing, visiting, or working on the site with a view to encouraging a modal shift away from cars. The measures provided in this GTP and their success can inform the travel plans for subsequent developments within the precinct.

### 5.2 Implementation Plan

This section sets out the actions and associated timeframes to support the initiatives detailed in Section 6.1.

The below plan will be implemented and monitored by a Travel Plan Coordinator (TPC) who will be employed by the strata management.

#### General & Communications Actions

Action	Timeline	Responsibility
Promotion including: <ul style="list-style-type: none"> <li>• Display boards in prominent locations to show public transport maps</li> <li>• An events calendar – 3-4 events per year. Best in conjunction with state-wide events such as Ride to Work Day, World Environment Day, National Walk to Work Day, etc.</li> </ul>	Prior to occupation	TPC
A quarterly newsletter including; <ul style="list-style-type: none"> <li>• News, events and articles on the environment, health, and fitness</li> </ul>	4 times a year	TPC

Action	Timeline	Responsibility
<ul style="list-style-type: none"> <li>Remind staff that they don't always need to walk in the shoes they wear for work - these can be left at work and staff can come in trainers</li> <li>Outline new initiatives and how residents and staff can access them or get involved</li> <li>Information regarding up-and-coming events</li> <li>Information around the numerous health and financial benefits of participating in more sustainable transport options. Including better work life balance, reduced transport costs, reduced sick days due to ill health and improved culture and morale.</li> </ul>		

## Walking

Action	Timeline	Responsibility
Produce a map for residents, staff and visitors showing safe walking routes to and from the site with times and distances, to surrounding local facilities (i.e., shops, bus stops)	Prior to occupation, quarterly on the newsletter	TPC
Have some Walk to Work days encouraging residents and staff to travel by alternative means.	Quarterly	TPC

## Cycling

Action	Timeline	Responsibility
Provide 38 new bicycle parking spaces in an easily accessible, undercover, well-lit, and secure.	Prior to Occupation	TPC
Ensure bike parking is clearly visible or provide signage to direct people to bike parking spaces.	Prior to Occupation	TPC
Supply a workplace toolkit - this can consist of puncture repair equipment, a bike pump, a spare lock, and lights.	Prior to Occupation	TPC

Action	Timeline	Responsibility
Participate in annual events such as 'Ride to Work Day'.	Annually	TPC
Provide panniers/backpacks to staff committed to riding to work.	Prior to Occupation	TPC

## Public Transport

Action	Timeline	Responsibility
Develop a map showing public transport routes.	Circulated to all new staff prior to occupation	TPC
Put up a noticeboard with information and maps showing the main public transport routes to and from the Site.	Prior to occupation	TPC

## Incentive

Action	Timeline	Responsibility
<ul style="list-style-type: none"> <li>Introduce charges for car parking and use money raised for public transport initiatives</li> <li>Provide sustainable transport allowances for staff who surrender car parking permits</li> <li>Offer cash incentives for staff willing to give up car parking spaces</li> </ul>	To be reviewed when the car parking is fully occupied	TPC

## Events and Challenges

Action	Timeline	Responsibility
Implementation of events and challenges throughout the year such as Ride to Work Day, World Environment Day, National Walk to Work-Day, car free days, step challenges and points challenges, etc.	Throughout the year	TPC

## 5.3 Site Specific Measures

The approved development incorporates the following measures to encourage more sustainable travel use among residents/tenants, visitors, staff and supplier/service personnel:

- ❖ Appoint a Travel Plan Coordinator (TPC) to ensure the successful implementation and monitoring of the GTP.
- ❖ Create a site-specific GTP website and an introduction to the GTP, setting out its purpose and objectives.
- ❖ Encouragement of the use of shared cars
- ❖ Bicycle purchase assistance schemes with interest-free loans with bicycle purchase, cycle equipment purchase, etc.
- ❖ Implementation of a subsidised bicycle share membership plan such as Lime, Mobike and oBike.
- ❖ Provision of 36 bicycle spaces is in accordance to DCP requirements for staff, tenants and visitors
- ❖ Provision of workplace toolkits, including puncture repair equipment and bicycle pumps and a bicycle repair station.
- ❖ Promote bicycle-friendly shops in St Leonards. A loyalty card program could be organised between staff who cycle and cafes/shops.
- ❖ Provision of good quality, accurate and useful directional signage to promote walking and cycling is essential and it is proposed that this is provided stating times to destination in minutes taken as well as distances in half kilometres.
- ❖ Provision of newsletter or email with links to public transport travel information and car share sites, Live NSW traffic and public transport conditions to ensure that travel information is always up to date
- ❖ Provide interactive timetables on-site to promote public transport usage.



- ❖ Allow for access to umbrellas and ponchos in case of wet weather.
- ❖ Provision of a Transport Access Guide (TAG), which should be given to every staff and regular visitor. The TAG should include public transport timetables, stop/station locations, walking times/ distances, etc.
- ❖ Implementation of a rideshare system, which could include encouraging staff to participate in a peak-hour carpooling club to drive to a nearby station (with higher train frequencies) or common work location during the peak hours. This may be coordinated by a 'transport champion,' an appointed worker, building manager, or formally appointed TPC.
- ❖ Provide an access pack to all new residents/tenants/staff, including the transport access guide, the free opal cards, free car share membership, and information on sustainable travel facilities and initiatives. Every resident and staff's welcome pack will not only include the TAG and brochure, which would give detailed information about how to travel to and from the site by means other than the car but also an information sheet explaining how to use the facilities/incentives provided.
- ❖ All rooms will be provided with high-quality NBN telecommunication points, which will provide residents with the opportunity to "work from home" or "study from home," thus reducing the need to travel.
- ❖ A half-yearly newsletter could be provided for up to two years after occupation bringing the latest news on sustainable travel initiatives in the area.

It is also important to note that the development layout will provide a detailed "wayfinding" information to assist residents/staff/visitors to be directed to suitable public transport facilities.

The provision of good quality, accurate and useful directional signing to promote walking and cycling is essential and it is proposed that this is provided stating times to destination in minutes taken as well as distances in half kilometres. In addition, the signage will promote links to local services. These measures would form the framework of the GTP and with this framework in place, the plan is to be managed as described in Section 6.

## 6.0 Management of the Plan

---

It is proposed that the GTP will be subject to ongoing monitoring to ensure that it is achieving the desired benefits or to modify it if required. It is not possible at this stage to state what additional modifications might be made, as this will be dependent upon the particular circumstances arising from time to time.

### 6.1 Monitoring

It will be important to monitor the GTP to ensure that travel mode targets are met and the maximum benefits are being gained.

A GTP Coordinator for the development will be nominated by the Strata management and this Committee will be responsible for developing, implementing and monitoring the GTP. The Committee will be established when occupation commences.

Travel surveys will be undertaken, and the main focus of the surveys will be to establish the travel patterns, including the mode share of trips to and from the site. The survey will be conducted online with the information helping inform GTPs of subsequent changes and upgrades.

It will be important to understand people's reasons for travelling the way they do, any barriers to changing their behaviour; and their propensity to change. This will enable the most effective initiatives to be identified, and conversely, less effective initiatives can be modified or replaced to ensure the best outcomes are achieved.

It will also be necessary to provide feedback to residents and staff to ensure that they can see the benefits of sustainable transport.

There are several key elements to the development and implementation of a successful GTP. These include:

- **Communications** – Good communications are an essential part of the GTP. It will be necessary to explain the reason for adopting the plan, promote the benefits available and provide information about the alternatives to reliance on private car travel.
- **Commitment** – GTPs involve changing established habits and providing the impetus for people in new developments to choose a travel mode other than private car use. To achieve co-operation, it is essential to promote positively the wider objectives and benefits of the plan. This commitment includes the provision of the necessary resources to implement the plan, beginning with the introduction of encouragement for changing travel modes upon occupation.
- **Consensus** – It will be necessary to obtain broad support for the introduction of the plan.

Once the plan has been adopted, it will be essential to maintain interest in the scheme and any new initiative in the plan will need to be publicised and marketed. Accordingly, it is proposed to produce a half-yearly leaflet for residents and staff to inform them of sustainable travel initiatives.

TP coordinator is to survey the bicycle and motorcycle parking areas and record their capacity quarterly. This information will advise the potential need for further bicycle parking spaces which is estimated to be available due to the anticipated minimal usage of the large motorcycle parking area.

## 6.2 Monitoring Milestones

Monitoring of the plan will be an essential process in consolidating the travel patterns and publicising the positive outcomes of the plan.

It is therefore proposed that within 3 months of occupation of the new development and from a yearly basis thereafter, a travel survey will be conducted. The results of the travel survey will indicate the existing desired travel modes used by staff and residents. In this way, the coordinator will be able to examine the success of the TP and make appropriate recommendations in improving the TP outcome.

## 6.3 Evaluation of Targets

It is therefore proposed that within 3 months of substantial occupation, a travel survey will be conducted. A travel questionnaire (example below) can be conducted of residents/tenants, staff and visitors.

The first study provides a baseline for travel planning, while subsequent travel surveys would be reported yearly to inform any weakness or strength in the current travel plan. Based on the review, the travel plan should be refined to reflect changing circumstances.

### Sample Survey

1. What is the postcode of your place of residence/employment? \_\_\_\_\_
2. How do you travel to work?
  - a) Walk/run
  - b) Bicycle
  - c) Bus
  - d) Train
  - e) Combination of bus and train
  - f) Drive a car
  - g) Passenger in a car
  - h) Others \_\_\_\_\_
3. What time do you usually leave and arrive at work in the morning? \_\_\_\_\_
4. What time do you usually leave and arrive home in the afternoon? \_\_\_\_\_
5. Do you use your car for work trips during the day?
  - a) Yes
  - b) No
6. To facilitate walk/cycle groups and/or carpooling may we share your contact details with a colleague that live/work near you?
  - a) Yes – walking group (Email: \_\_\_\_\_)
  - b) Yes – cycling group (Email: \_\_\_\_\_)
  - c) Yes – carpool driver (Email: \_\_\_\_\_)
  - d) Yes – carpool passenger (Email: \_\_\_\_\_)



Whilst these targets have been set and though limited parking supply is available, and a range of measures have been provided in the travel plan to persuade residents/tenants, staff and visitors to participate in sustainable travel, it is not possible to guarantee that these modal split targets will be achieved. These targets will provide a good indication of travel modes and potentially enable a conversion in motorcycle to bicycle spaces, improving the sustainability of the development.

## 6.4 Existing Travel Circumstance

Existing Transport Condition Report, St Leonards and Crows Nest Station Precinct Transport Study, dated 24 May 2017, prepared by Cardno, provides the indication of existing residents/ tenants/ staff travel patterns for the St Leonards locality.

A summary of the current mode shares is shown as follows:

Mode of Travel	Resident/Tenant	Staff
Train	48%	32%
Bus	6%	7%
Walk	15%	5%
Car Driver/Car Passenger	29%	53%
Other (Bicycle, Motorcycle, Taxi, Car Share)	2%	3%
<b>Total</b>	<b>100%</b>	<b>100%</b>

## 6.5 Modal Share Targets

With the high-frequency bus and light rail services, the approved development could proactively pursue initiatives to accommodate public transport users.

This will contribute to significantly reducing the reliance of private cars as the primary form of transport.

Recognising the changing nature of the area as part of the site redevelopment and light rail services, the desirable Mode Share target as indicated in St Leonards Cumulative Transport and Accessibility Study; Lane Cove Council; 28/09/2017; prepared by ptc, are summarised in the following:

Mode of Travel	Resident/ Tenant	Staff
Train	56%	52%
Bus	6%	7%
Walk	19%	13%
Car Driver/Car Passenger	15%	20%
Other (Bicycle, Motorcycle, Taxi, Car Share)	4%	8%
<b>Total</b>	<b>100%</b>	<b>100%</b>

Surveys undertaken within 3 months of occupation will be able to assess whether these targets have been met.

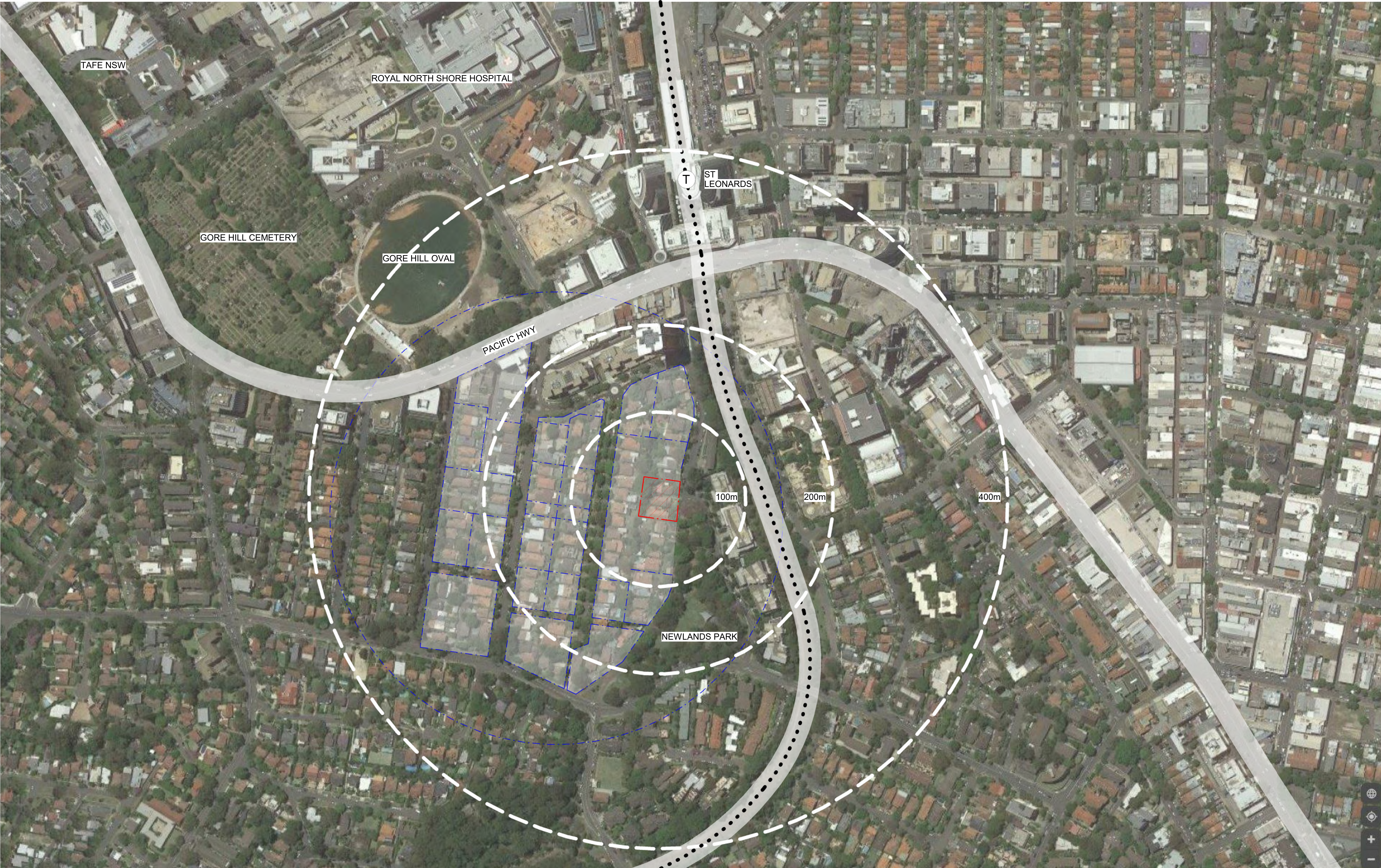
Whilst these targets have been set and though limited parking supply is available, and a range of measures have been provided in the travel plan to persuade residents, visitors and staff, to use sustainable travel, it is not possible to guarantee that these modal split targets will be achieved.

The measures proposed will be taken up by the purchaser as a matter of free choice and this modal choice is beyond the Strata management. The survey results will, however, give an indication of the more popular measures which can then be concentrated upon in GTPs.

## Appendix A

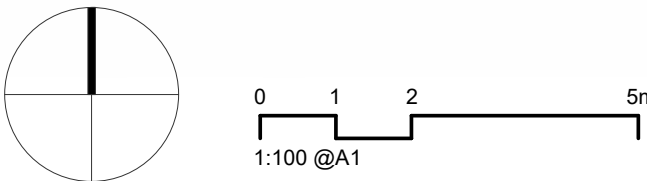
### Architectural Plans



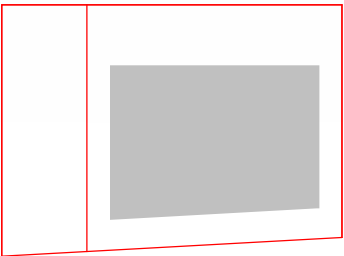


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
1	11/05/2021	DESIGN REVIEW PANEL	LL	AH
14	29/08/2021	FOR CONSULTANT COORDINATION	ML	AH
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards

Drawing Name  
LOCATION PLAN

Date

29/04/2022

Scale

1 : 2000

Sheet Size

@ A1

Drawn

LL

Chk.

AH

Job No.

6429

Drawing No.

DA-0101

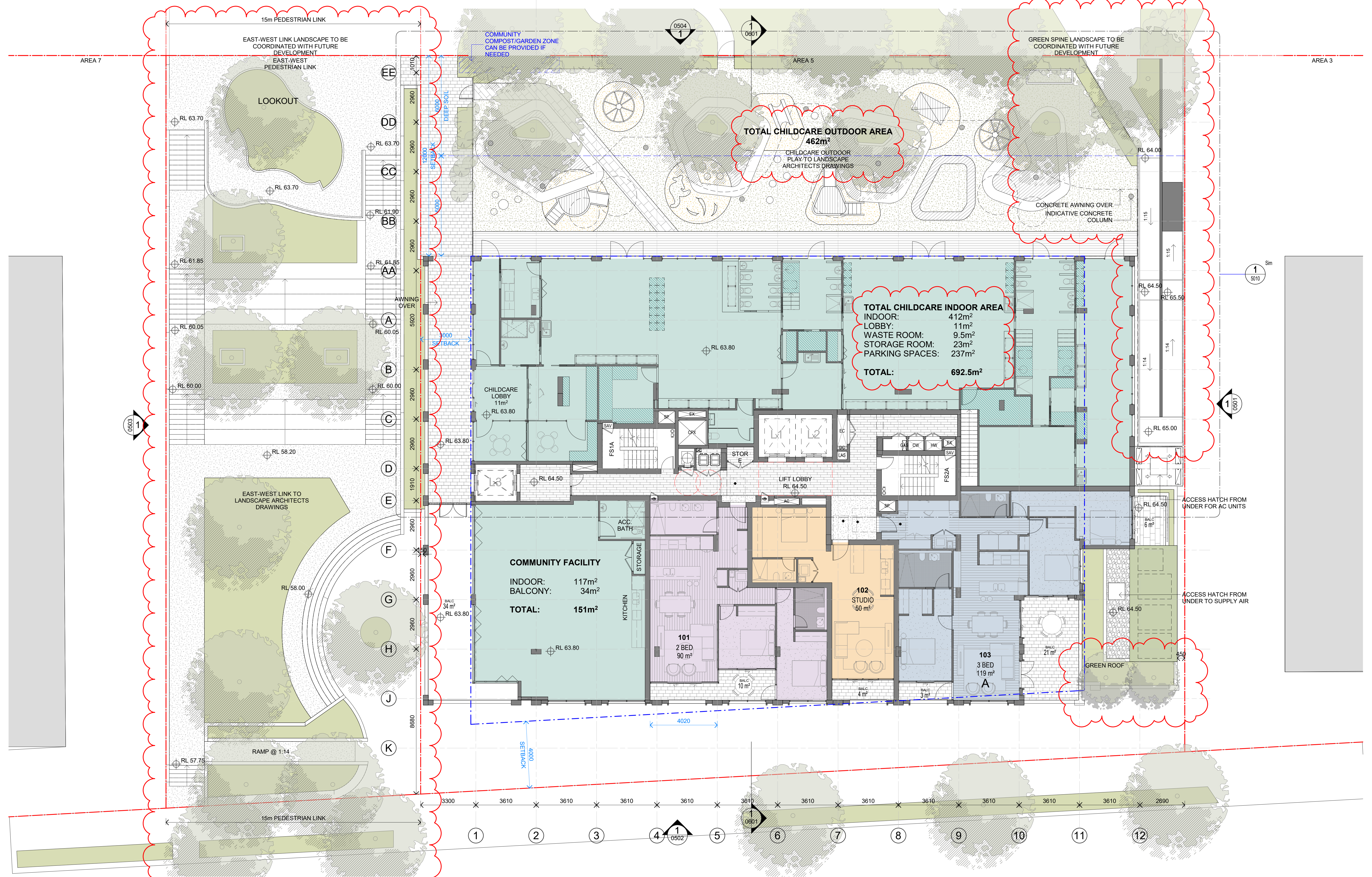
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9360 9911  
www.sjb.com.au

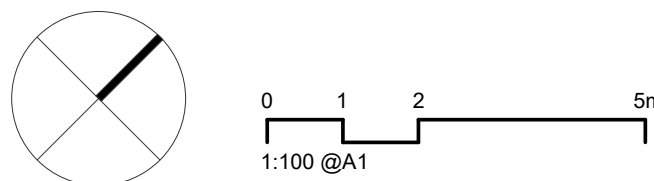




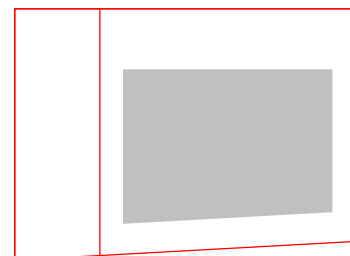


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
35	20/09/2021	FOR INFORMATION	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN L1

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

AH

Job No.

6429

Drawing No.

DA-0207

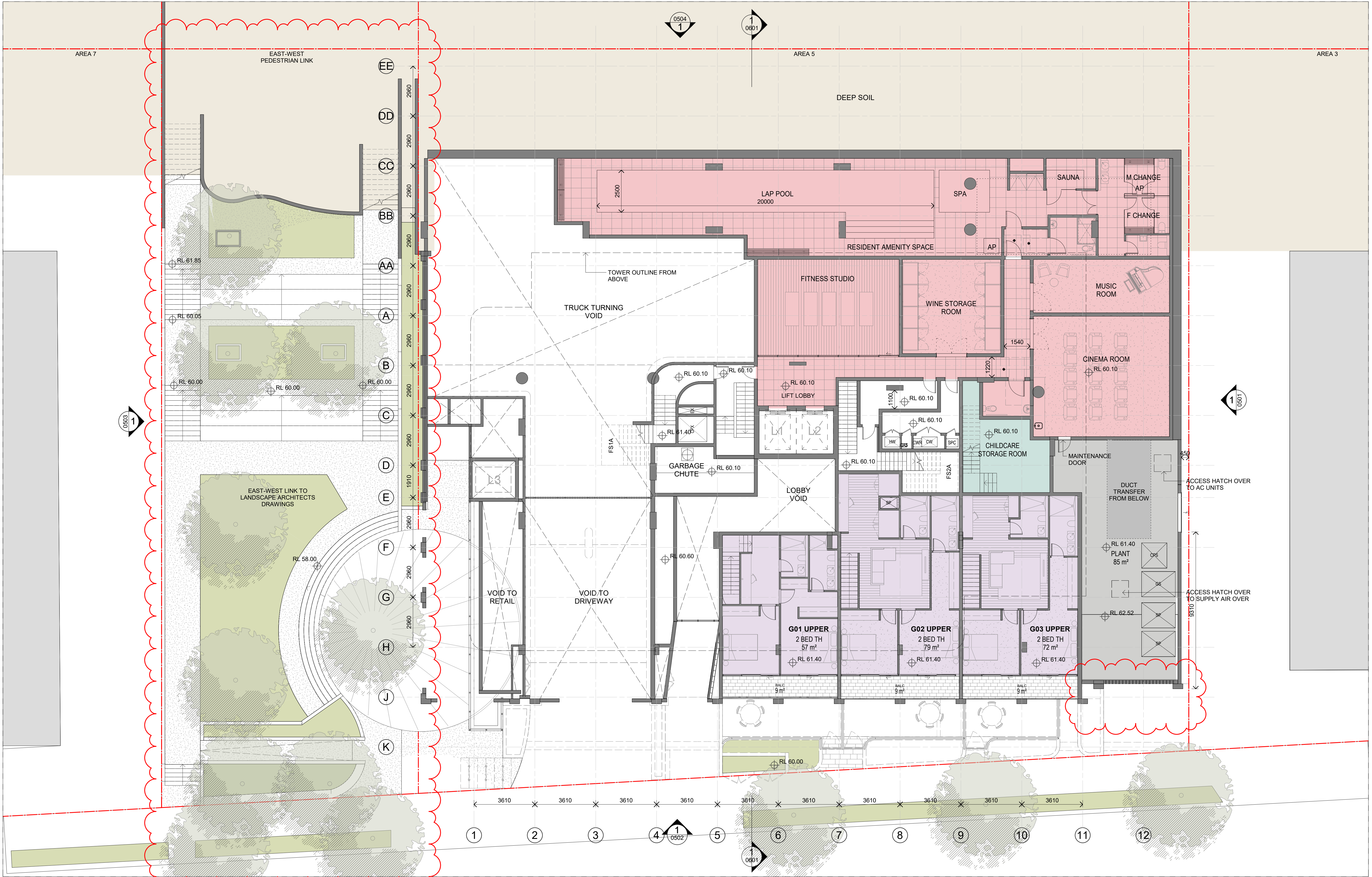
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

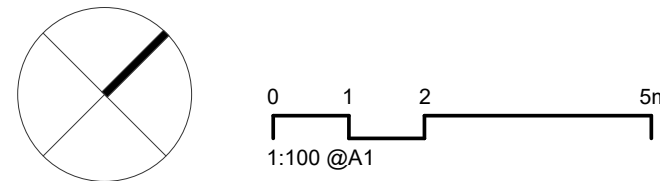




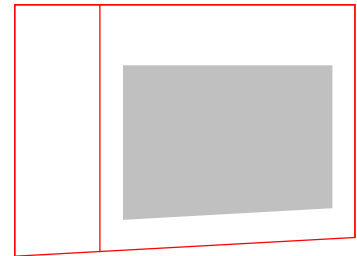


In accepting and utilising this document the recipient agrees that SJB Architects (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
15	01/07/2021	FOR CONSULTANT COORDINATION	LL	AH
17	12/07/2021	FOR REVIEW	ML	AH
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN UPPER GROUND

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

AH

Job No.

6429

Drawing No.

DA-0206

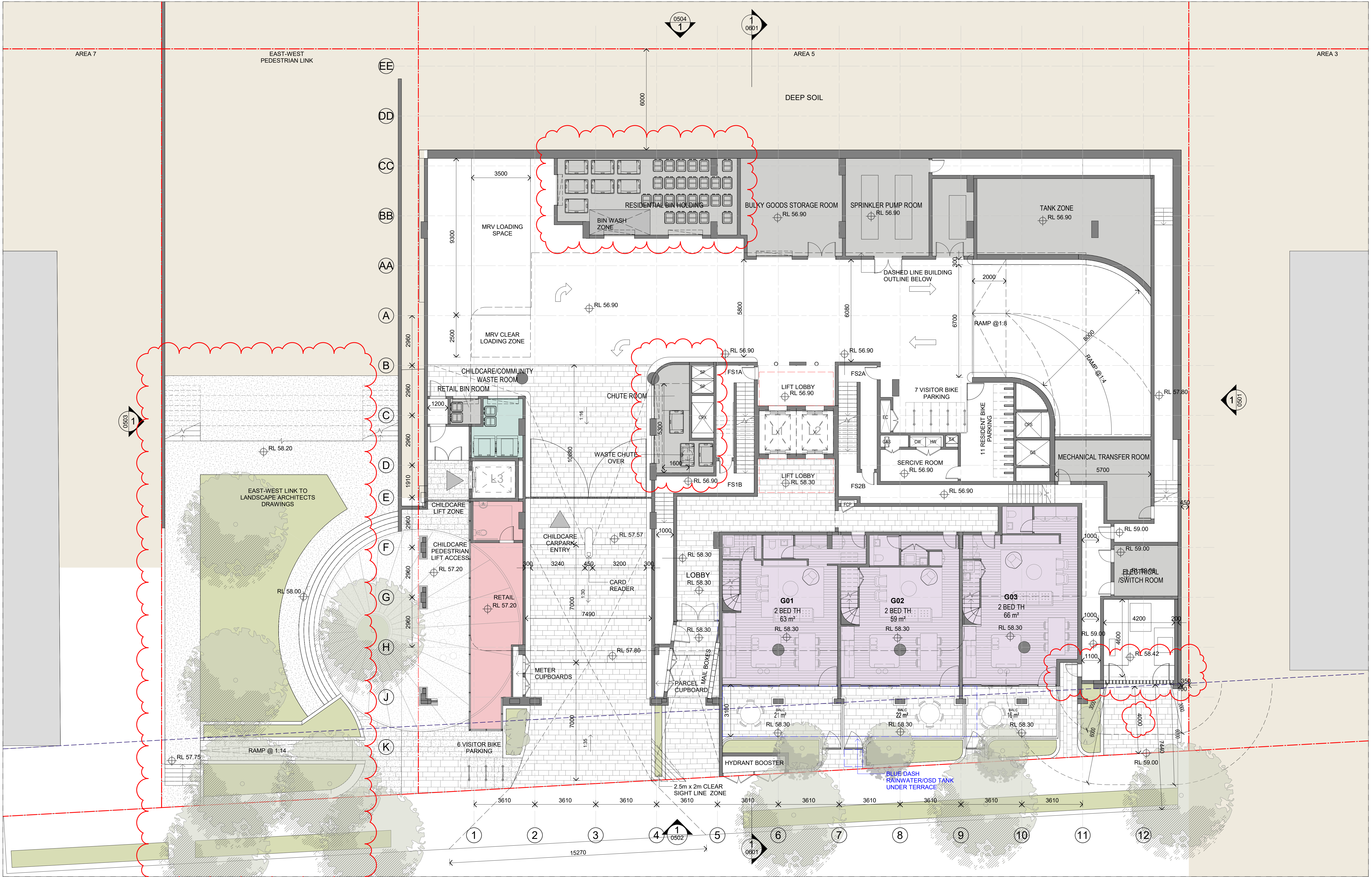
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

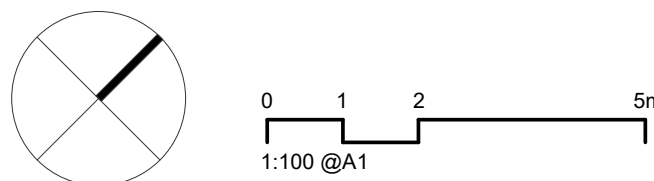




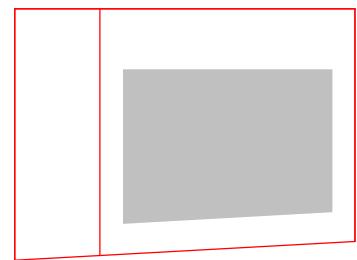


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
35	20/09/2021	FOR INFORMATION	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
39	07/10/2021	OF UPDATE	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN GROUND

Date

29/04/2022

Scale  
1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

AH

Job No.

6429

Drawing No.

DA-0205

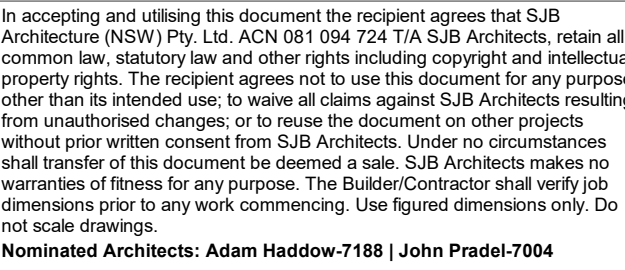
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au







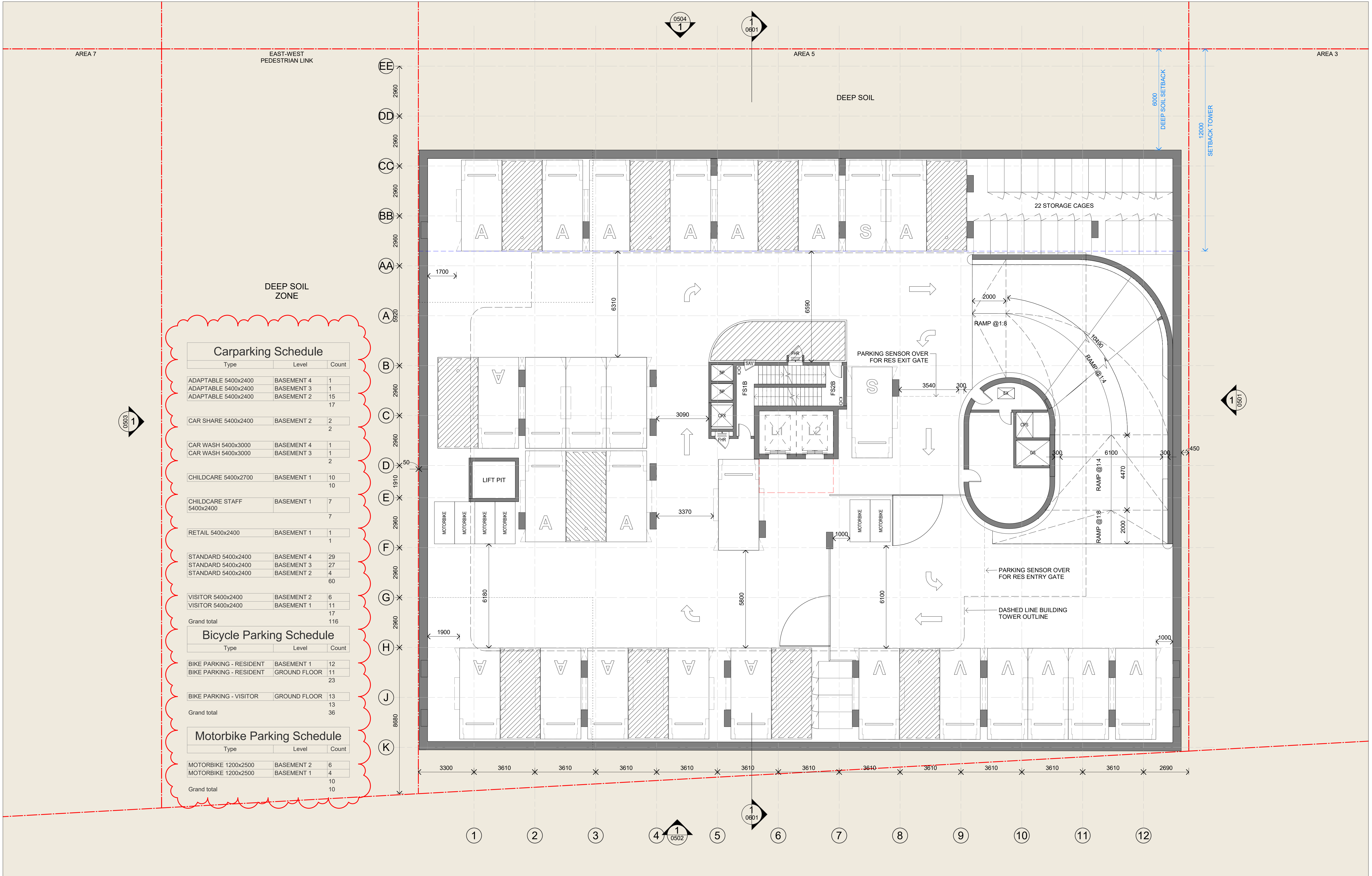
# HYECORP

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN B1

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 991  
[www.sjb.com.au](http://www.sjb.com.au)

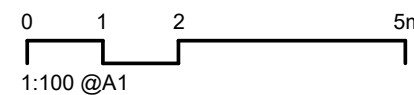
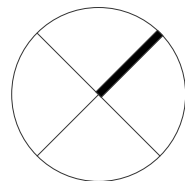




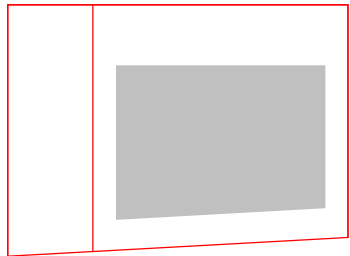


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN B2

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

AH

Job No.

6429

Drawing No.

DA-0203

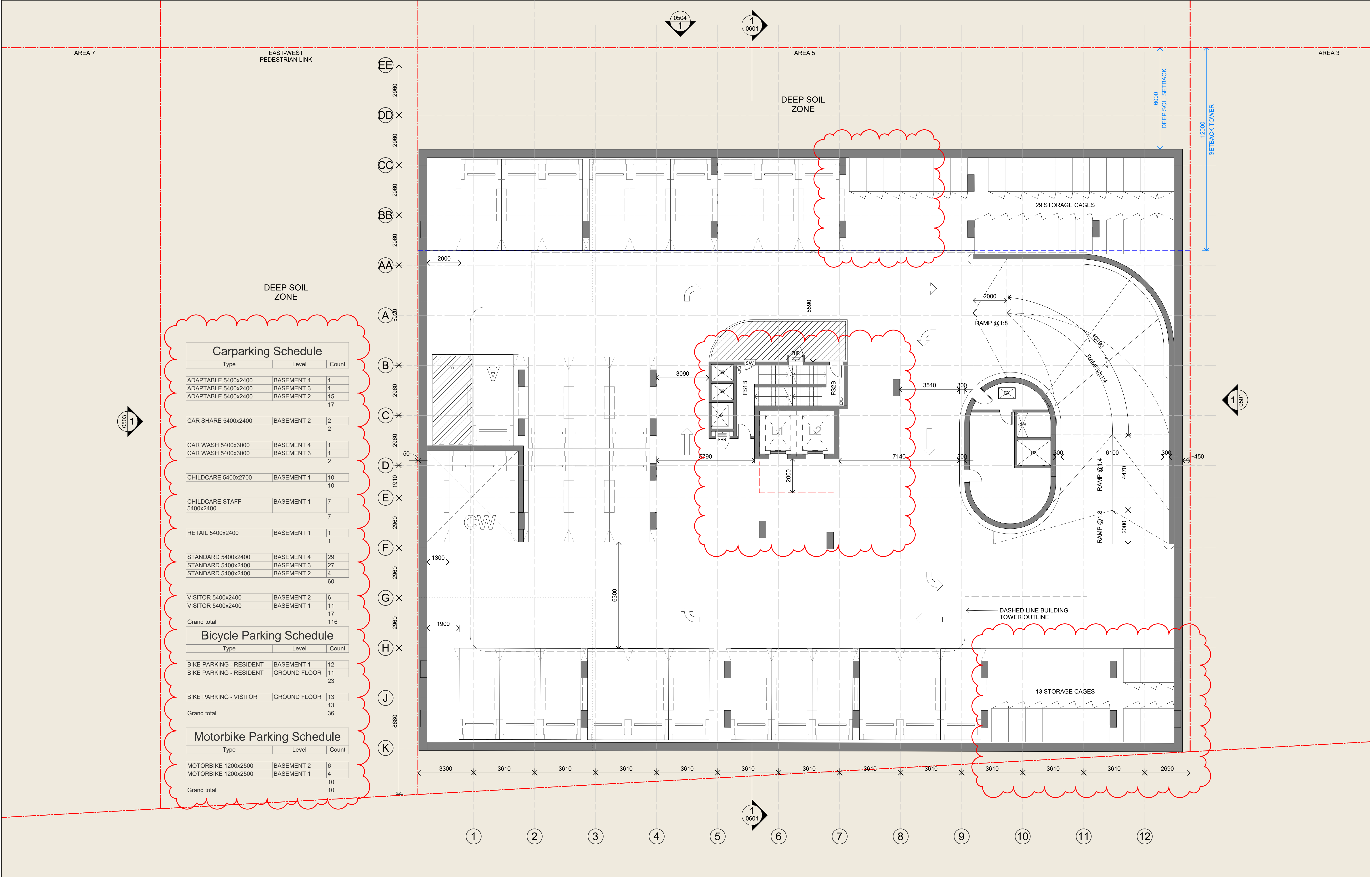
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

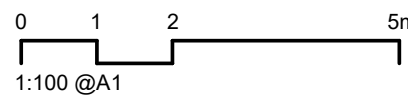
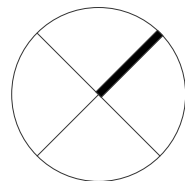




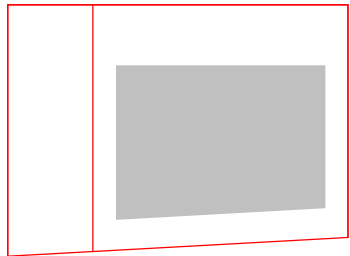


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN B3

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

JT

Job No.

6429

Drawing No.

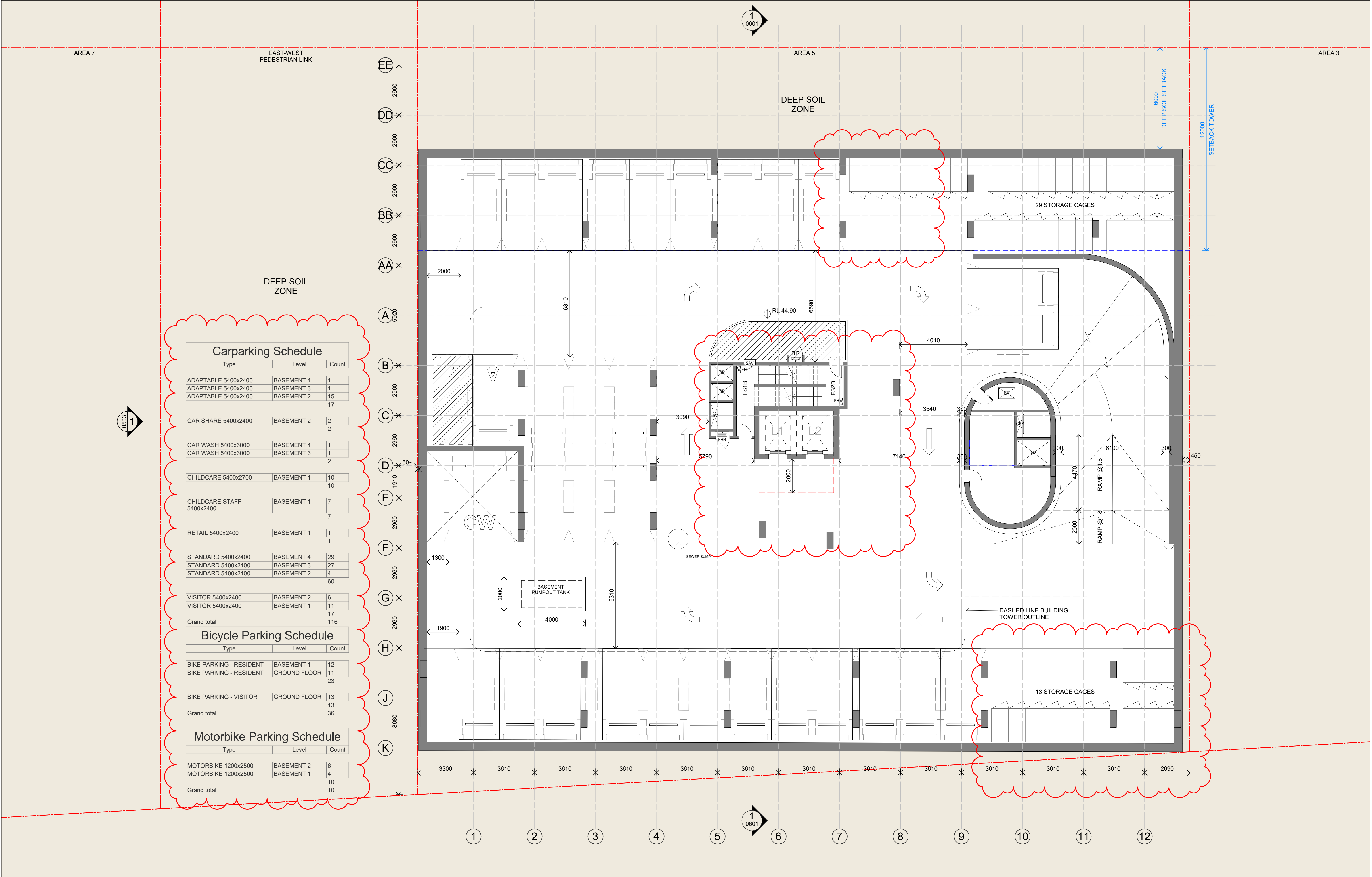
DA-0202

Revision

/ 45

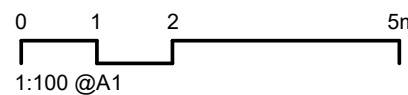
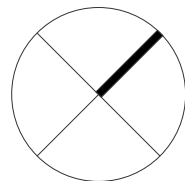
**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au



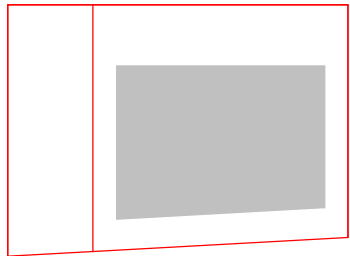


In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
29	27/08/2021	FOR INFORMATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
FLOOR PLAN B4

Date

29/04/2022

Scale

1 : 100

Sheet Size

@ A1

Drawn

ML

Chk.

JT

Job No.

6429

Drawing No.

DA-0201

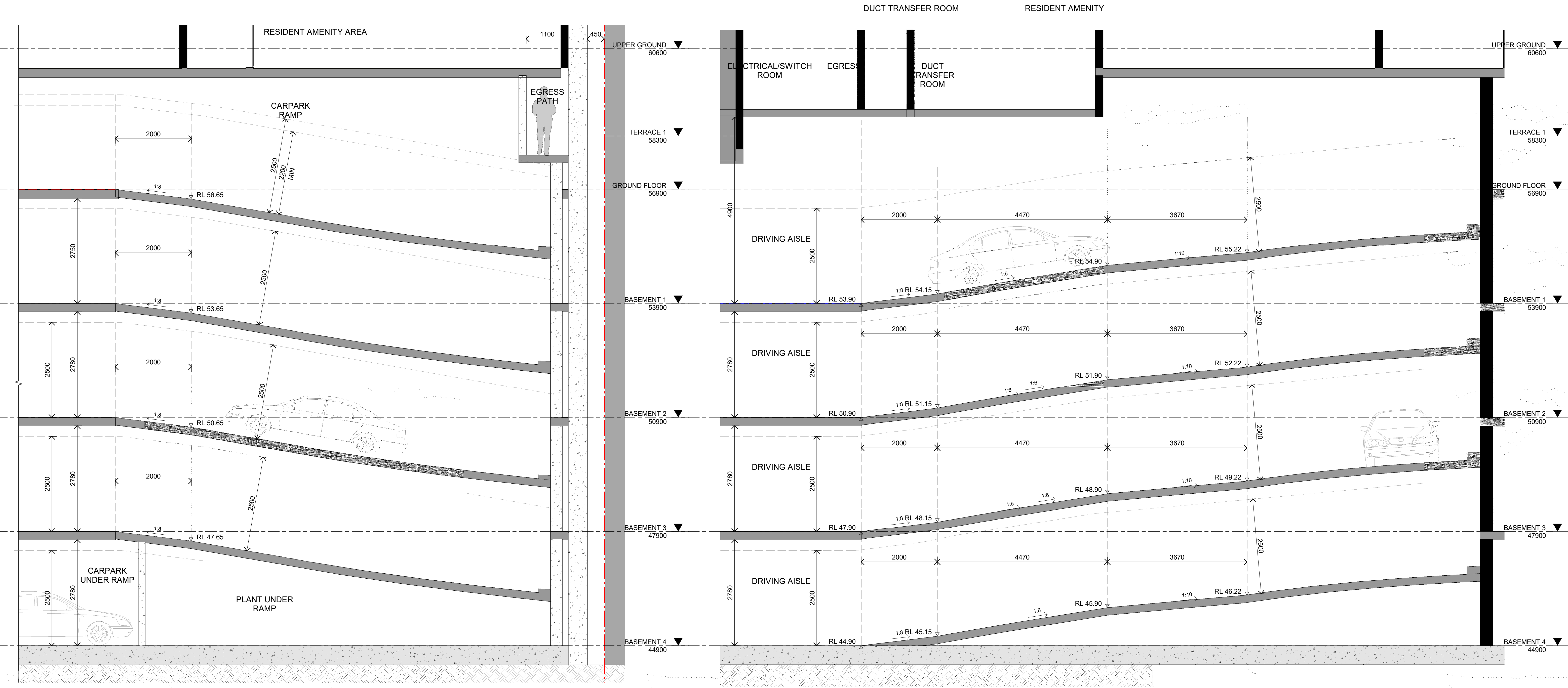
Revision

/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

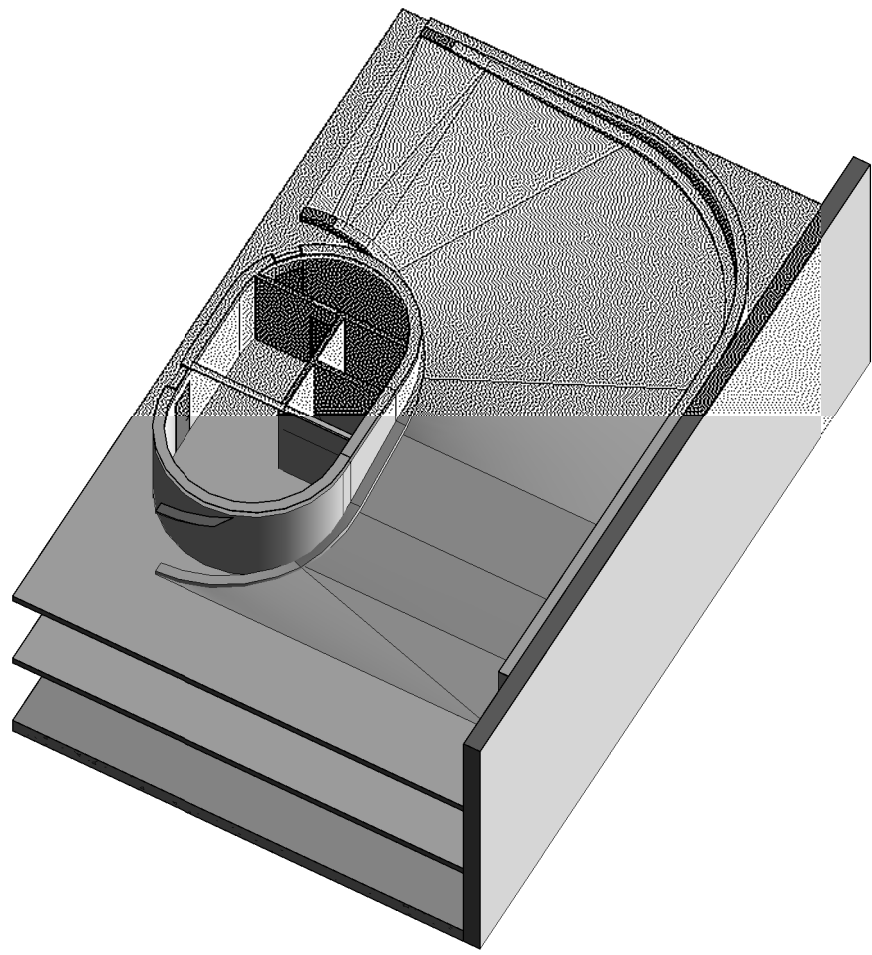




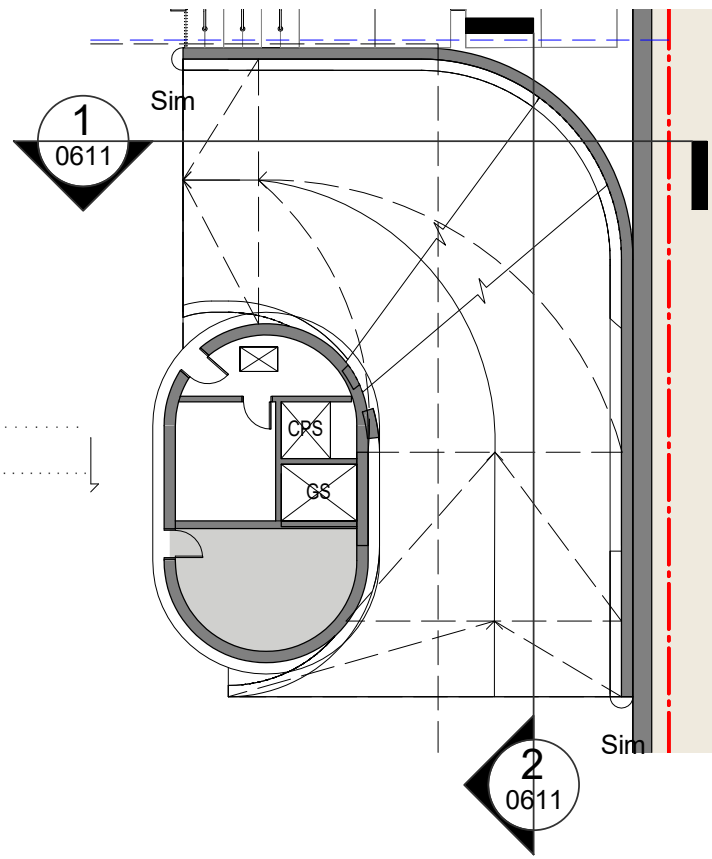


CARPARK RAMP SECTION 01

CARPARK RAMP SECTION 02

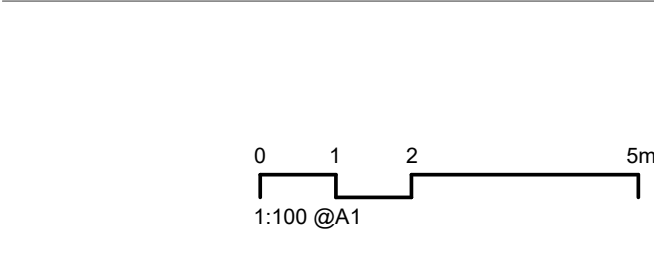


CARPARK RAMP AXO

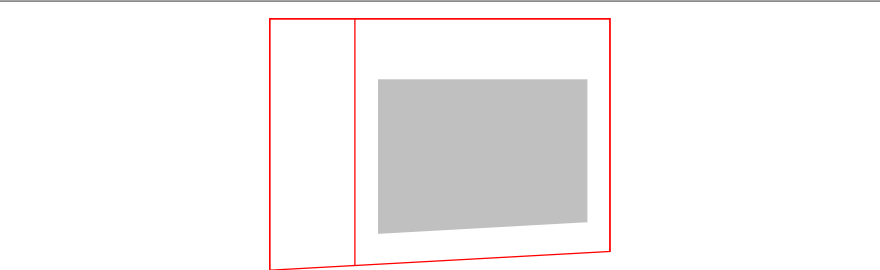


BASEMENT RAMP SECTION  
LEGEND

In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes, or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.  
**Nominated Architects: Adam Haddow-7188 | John Pradel-7004**



Rev	Date	Revision	By	Chk.
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client  
**HYECORP**

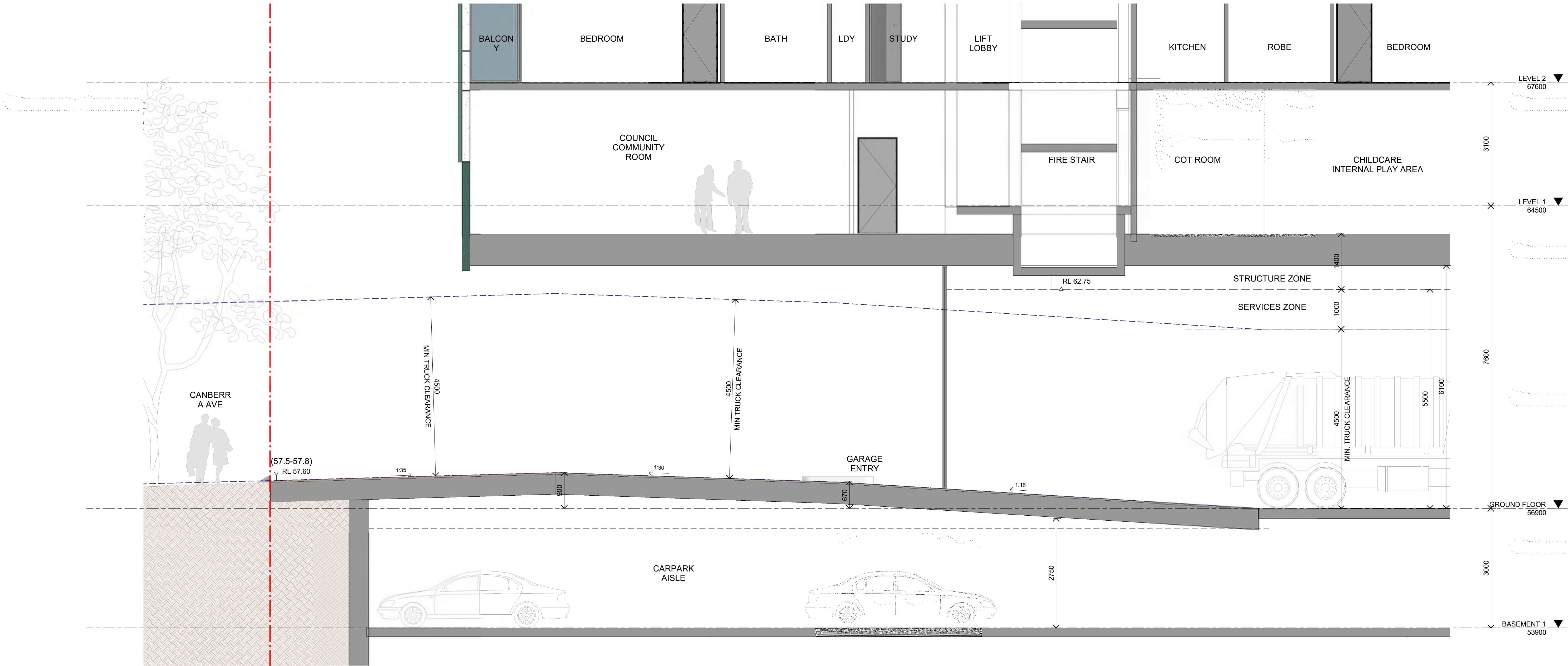
Project  
**St Leonards**  
**13-19 Canberra Ave**  
**St Leonards**  
Drawing Name  
**DETAIL SECTION - BASEMENT CARPARK RAMP**

Date  
**29/04/2022**  
Scale  
**As indicated**  
Sheet Size  
**@ A1**  
Drawn  
**Chk.**  
Author  
**Checker**  
Drawing No.  
**DA-0611**

Job No.  
**6429**  
Revision  
**/ 45**  
**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au

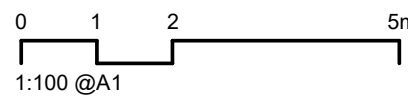




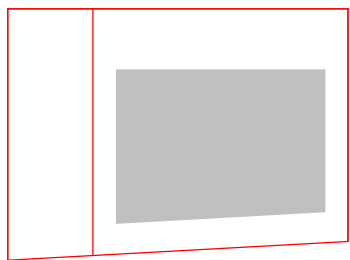


NOTE:  
PLEASE REFER TO TRAFFIC & STRUCTURAL ENG'S DOCUMENTATIONS FOR RAMP DETAILS

In accepting and utilising this document the recipient agrees that SJB Architecture (NSW) Pty. Ltd. ACN 081 094 724 T/A SJB Architects, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive all claims against SJB Architects resulting from unauthorised changes or to reuse the document on other projects without prior written consent from SJB Architects. Under no circumstances shall transfer of this document be deemed a sale. SJB Architects makes no warranties of fitness for any purpose. The Builder/Contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only. Do not scale drawings.  
Nominated Architects: Adam Haddow-7188 | John Pradel-7004



Rev	Date	Revision	By	Chk.
9	11/06/2021	DRAFT ELEVATIONS FOR CONSULTANT	LL	AH
21	20/07/2021	FOR CONSULTANT COORDINATION	ML	AH
23	04/08/2021	DRAFT DA FOR CLIENT REVIEW	LL	AH
28	18/08/2021	FOR COORDINATION	LL	AH
32	03/09/2021	FINAL DRAFT FOR DA	LL	AH
36	24/09/2021	FINAL DRAFT FOR DA	LL	AH
37	28/09/2021	FINAL DRAFT FOR DA	LL	AH
40	08/10/2021	FINAL DRAFT FOR DA	LL	AH
42	13/10/2021	FOR DA APPLICATION	LL	AH
45	29/04/2022	RESPONSE TO RFI	LL	AH



Client

**HYECORP**

Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
DETAIL SECTION - CARPARK ENTRY

Date

29/04/2022 1 : 50

Drawn

Author

Drawing No.

DA-0610

Scale

Checker

Revision

Sheet Size

@ A1

Job No.

6429

Revision

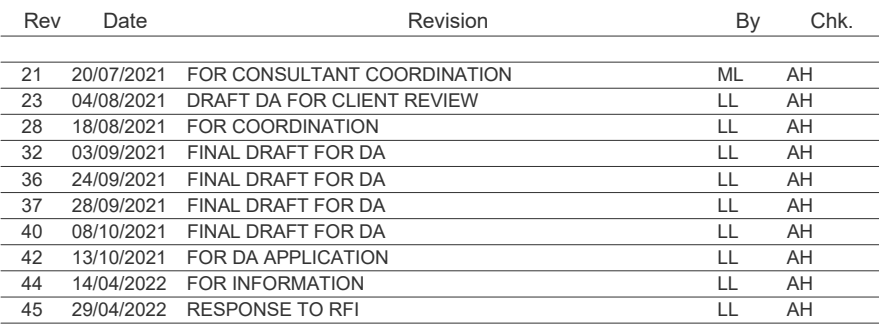
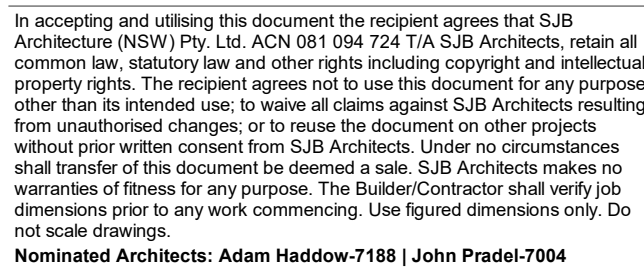
/ 45

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
www.sjb.com.au





## SITE 5



Project

St Leonards  
13-19 Canberra Ave  
St Leonards  
Drawing Name  
BUILDING SECTION 1

BUILDING SECTION 1

Date	Scale	Sheet Size
------	-------	------------

29/04/2022 1 : 150

@ A1

Drawn	Chk.	Job No
-------	------	--------

LL AH 6429

Drawing No.	Revision
-------------	----------

DA-0601 / 15

**SJB Architects**  
L2, 490 Crown St  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 991  
[www.sjb.com.au](http://www.sjb.com.au)



## Appendix B

### Transport Services



# Sydney rail network



## Sydney rail network

**M** Metro **T** Trains



### Sydney metro and train lines



**Metro North West Line**  
Chatswood  
Tallawong



**T1 North Shore & Western Line**  
North Shore  
North Shore  
Richmond



**T2 Inner West & Leppington Line**  
Inner West  
Leppington  
City



**T3 Bankstown Line**  
Liverpool  
Lidcombe  
City



**T4 Eastern Suburbs & Illawarra Line**  
Eastern Suburbs  
Illawarra  
Cronulla



**T5 Cumberland Line**  
Leppington  
Richmond



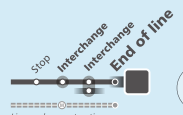
**T7 Olympic Park Line**  
Olympic Park  
Lidcombe



**T8 Airport & South Line**  
Airport  
South  
City



**T9 Northern Line**  
Northern  
Gordon



Check timetables and trip planners for train services and connections

Visit [transportnsw.info](http://transportnsw.info)

1909TMS-E-MWT-180x205-WCAG

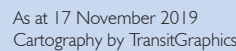


[transportnsw.info](http://transportnsw.info)

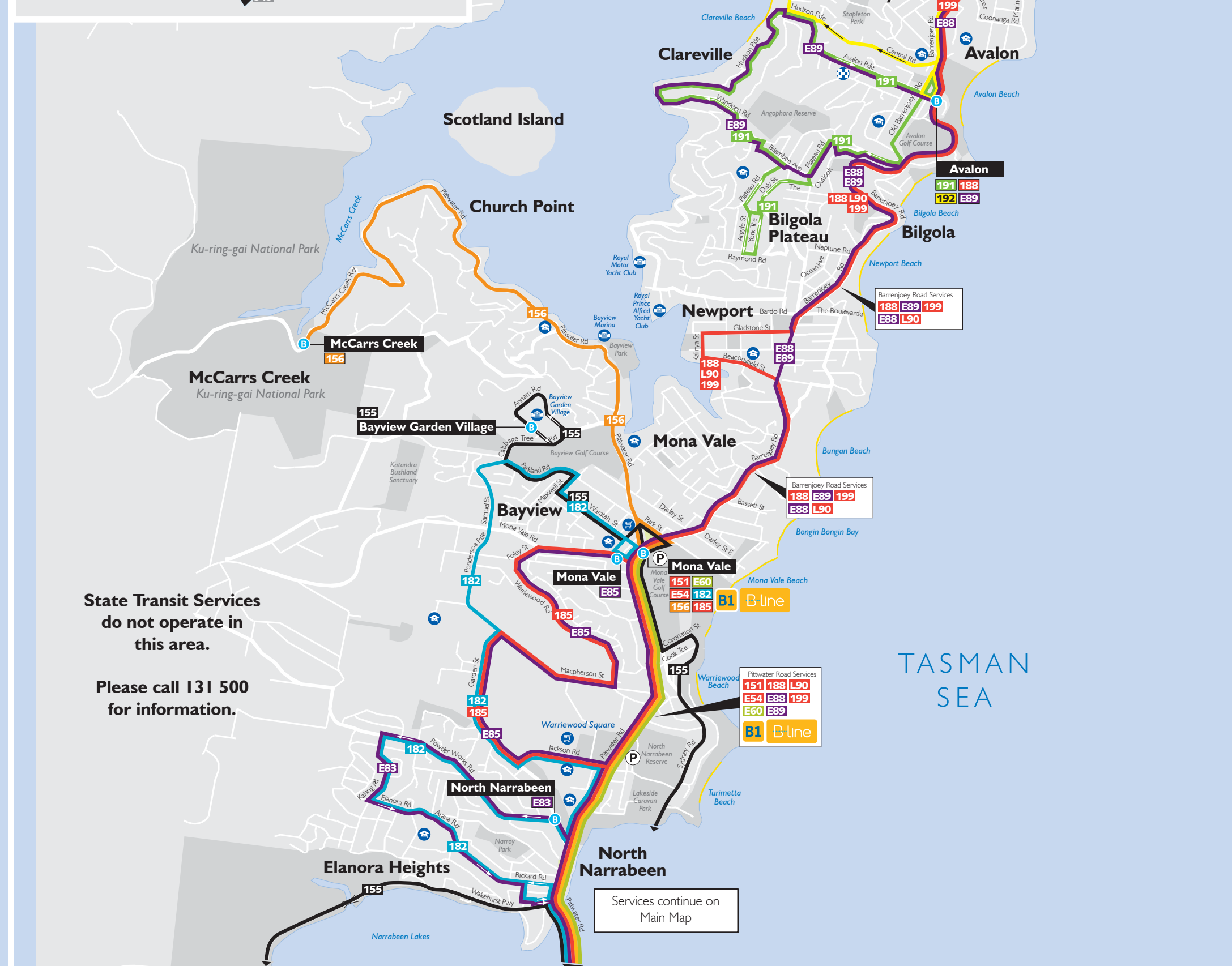
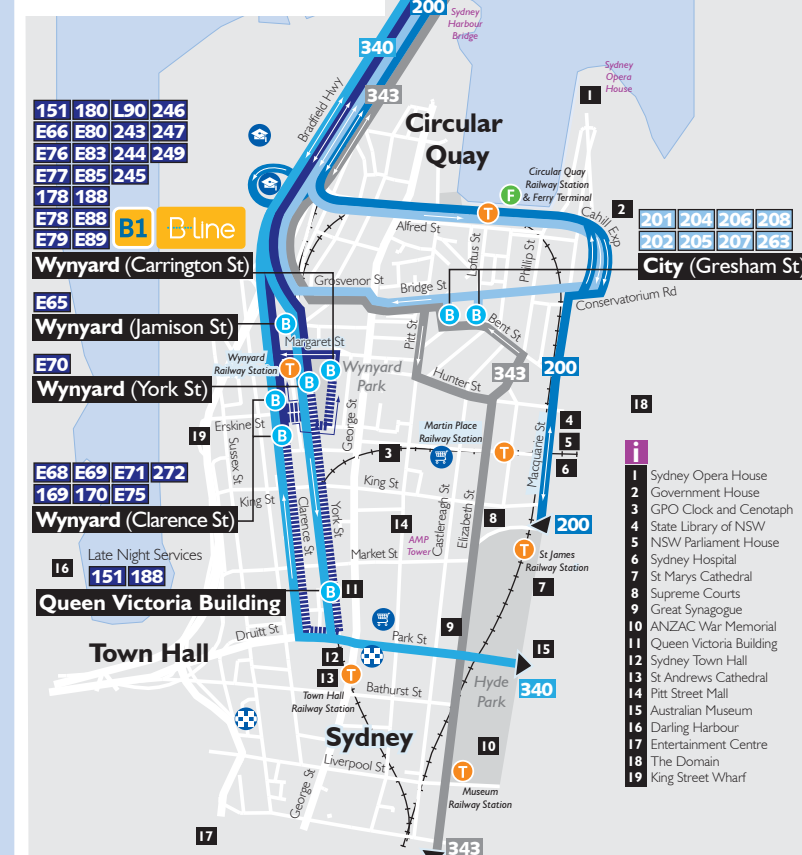




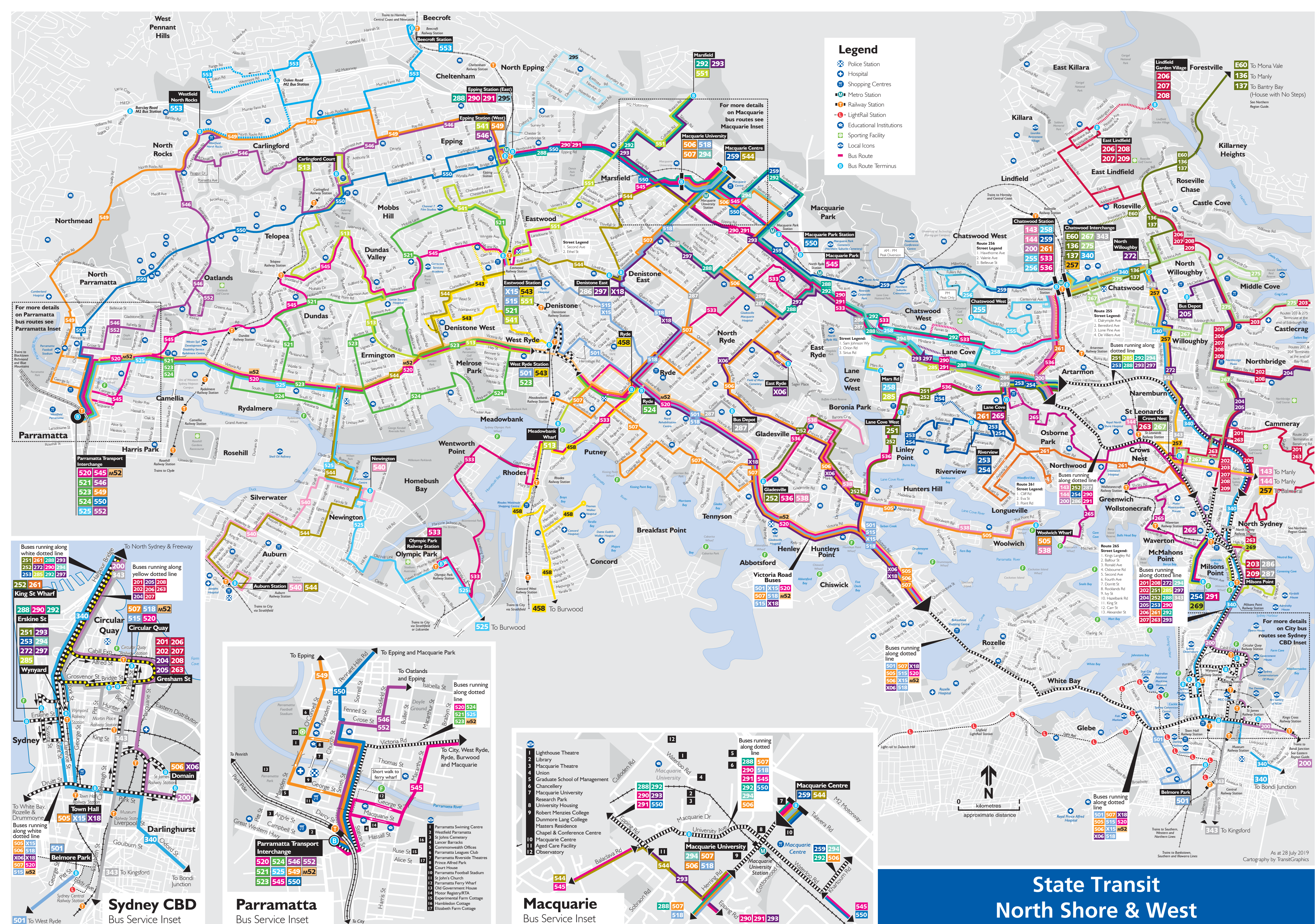
Stand A	Stand B	Stand C	Stand D	Stand E	Stand F	Stand G	Stand H
132	143	136	135	E70	142	146	151
E71	144	139	to North Head.		E50	158	to City.
		135				169	
		to Warringah Mall.				151	
						to Mona Vale.	



## Sydney CBD









# Buses around the Northern Beaches



## City

- B** Catch a B1 B-Line bus from Warringah Mall, Pittwater Rd, Stand B to City Wynyard.
- F** Catch an F1 ferry from Manly Wharf to Circular Quay.



## Manly

- B** Catch a bus from Warringah Mall, Pittwater Rd, Stand A to Manly.



## Palm Beach

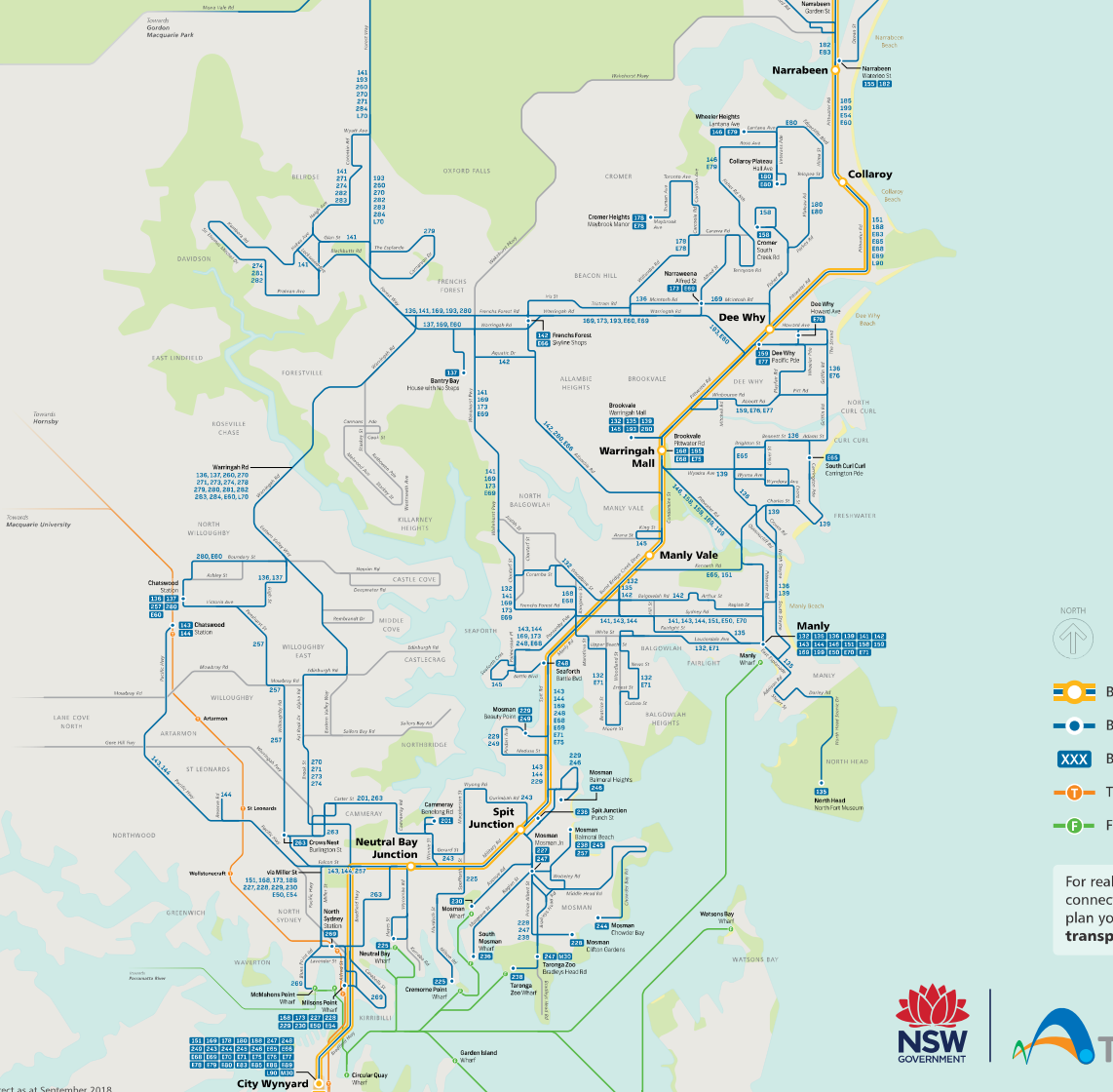
- B** Catch a B1 B-Line bus from Warringah Mall, Pittwater Rd, Stand C to Mona Vale. Change at Mona Vale for connecting bus services to Palm Beach.



## Chatswood

- B** Catch a B1 B-Line bus to Neutral Bay Junction. Change at Neutral Bay Junction for a 143, 144 or 257 bus to Chatswood.

\*Images from Destination NSW



- B-Line stop
- Bus route terminus
- Bus route number
- Train station
- Ferry wharf

For real time service and connection information plan your trip at [transportnsw.info](http://transportnsw.info)





## Transport and Traffic Planning Associates